

**MEMORANDUM OF AGREEMENT  
REGARDING THE  
CAPE MEARES LOOP ROAD PROPERTY EXCHANGE**

This Memorandum of Agreement, hereinafter AGREEMENT, is made and entered into by and between the Stimson Lumber Company, hereinafter **STIMSON** and Tillamook County, by and through its Board of Commissioners, hereinafter **COUNTY**. STIMSON and COUNTY collectively referred to as **PARTIES** or individually as a **PARTY**.

**RECITALS**

- A. The purpose of this AGREEMENT is to define PARTIES' responsibilities regarding the exploration of a potential real property exchange to facilitate the construction of the new Cape Meares Loop Road, hereinafter ROAD, and mitigation impacts to STIMSON's land resources by the construction.
- B. STIMSON owns the real property described in Exhibit A, also known as:
  - Cape Meares 160.
- C. COUNTY owns the real property described in Exhibit B, also known as:
  - Fairview 80;
  - Hobson 40;
  - Schiffman 29; and
  - Wolf Creek 79.
- D. PARTIES are currently considering the properties in Exhibits A and B for a property exchange. However, additional information is needed before any agreement may be finalized. The property exchange may include additional properties not described in this AGREEMENT.

**AGREEMENT**

NOW THEREFORE, in consideration of the foregoing and of the mutual covenants, promises and undertakings hereinafter set forth, PARTIES agree as follows:

1. COUNTY shall, at COUNTY's sole expense, conduct a full land and timber appraisal for the properties listed in Exhibits A and B for the purpose of the potential land exchange. The timber appraisal shall also be conducted on the STIMSON managed right-of-way of Old Cape Meares Road.
2. The conditions of the appraisal process include, but are not limited to:
  - a. Contracting with an appraiser who is mutually agreed upon by PARTIES.
  - b. Initiating the appraisal within six months of signing of this AGREEMENT. Appraisal completion is dependent upon appraiser availability.
  - c. Excluding all prior timber cruise data.

- d. Including the following considerations:
  - Log pricing: All log pricing will be domestic only, no export pricing.
  - Easements: Costs associated with securing permanent ingress/egress access for timber management purposes. Including road maintenance and cost share of easement maintenance.
  - Roads: New road construction and reconstruction costs. All roads will be appraised as rocked to all season hauling standards with ditches and culverts.
  - Logging plans: A logistically sound logging plan must be created, all costs must be considered for additional roading, access, tail holds, etc.
  - Harvesting costs: Logging and hauling costs need to be realistic. Bids may be acquired from contractors if needed for cost verification. Pulp and more specifically oversize pulp will be considered in the harvesting costs.
  - Stream Buffers: Full width no-cut fish buffers according to the Oregon Forest Practices Act must be used when calculating harvestable acres.
3. If a land exchange occurs that includes a portion of the Cape Meares 160 lands north of the ROAD, COUNTY shall not be required to construct three road approaches and gates north of the ROAD during ROAD construction, as set forth in the Obligation Agreement dated September 29, 2021, File # 001.
4. If a land exchange does not occur or a land exchange occurs but does not include a portion of the Cape Meares 160 lands south of the ROAD, which includes stationing 336 through 351 in Exhibit C, the COUNTY shall be obligated to:
  - a. Install pipes under the roadway every 150 feet between stations 336+00 and 351+00 in Exhibit C to assist with cable logging operations on STIMSON property.
  - b. Grant STIMSON an easement to operate on the north and south side of the ROAD right-of-way for the purpose of anchoring cable logging systems under and through the ROAD utilizing the 10 pipes.
5. This AGREEMENT presents no guarantees that a land exchange will occur. Both PARTIES retain the sole discretion to determine whether they wish to proceed with a land exchange. Either PARTY may determine not to proceed with the land exchange at any time and for any reason. Furthermore, both PARTIES agree to hold the other PARTY harmless for any decision made regarding whether to proceed with the land exchange.
6. TERMINATION. This AGREEMENT shall terminate:
  - 6.1 Upon the request of any PARTY, after giving the other PARTY 180 days' advance notice; or
  - 6.2 When one PARTY notifies the other PARTY that they have decided not to proceed with the land exchange; or
  - 6.3 Upon the completion of the property exchange and conditions set forth in this AGREEMENT.
7. INDEMNITY.
  - 7.1 Each PARTY shall include appropriate indemnity clauses in any design, construction or repair contracts issued for the Project. Such indemnity clauses shall require consultants, subconsultants, contractors, subcontractors, and suppliers to defend, indemnify and hold the PARTIES harmless from all claims, costs, damages, or expenses of any kind, including attorneys'

fees and other costs and expenses of litigation, for personal injury or property damage to the extent such claims, costs, damages, or expenses arise out of that PARTY's fault.

7.2 Each PARTY shall hold the other PARTY harmless for any decision made regarding whether to proceed with the land exchange.

8. GENERAL PROVISIONS.

8.1 MODIFICATION & WAIVER. The rights and duties under this AGREEMENT shall not be modified, delegated, transferred or assigned, except upon the written-signed consent of the PARTIES. Failure to enforce any provision of this AGREEMENT shall not operate as a waiver of such provision or of any other provision.

8.2 ATTORNEYS' FEES. Attorney fees, costs, and disbursements necessary to enforce this agreement through mediation, arbitration and/or litigation, including appeals, shall be awarded to the prevailing PARTY, unless otherwise specified herein or agreed.

8.3 LEGAL REPRESENTATION. In entering into this AGREEMENT, each PARTY has relied solely upon the advice of their own attorney. Each PARTY has had the opportunity to consult with counsel.

8.4 NOTICES. Any notice required or permitted under this AGREEMENT shall be in writing and deemed given when:

8.4.1 actually delivered if not sent by mail as described below, or

8.4.2 three days after deposit in United States certified mail, postage prepaid, addressed to the other PARTY at their last known address.

8.5 LANGUAGE. The headings of the contract paragraphs are intended for information only and shall not be used to interpret paragraph contents. All masculine, feminine and neuter genders are interchangeable. All singular and plural nouns are interchangeable, unless the context requires otherwise.

8.6 SAVINGS. Should any clause or section of this AGREEMENT be declared by a court to be void or voidable, the remainder of this AGREEMENT shall remain in full force and effect.

8.7 JURISDICTION; LAW. This AGREEMENT is executed in the State of Oregon and is subject to Tillamook County and Oregon law and jurisdiction. Venue shall be in Tillamook County, Oregon, unless otherwise agreed by PARTIES.

8.8 NO THIRD PARTY BENEFICIARIES. There are no intended third-party beneficiaries of this AGREEMENT.

9. EFFECTIVE DATE. This AGREEMENT shall take effect on September 29, 2021.

**STIMSON LUMBER COMPANY**

**DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021**

\_\_\_\_\_  
Jon Wehage, Coast Unit Manager

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**THE BOARD OF COMMISSIONERS  
FOR TILLAMOOK COUNTY, OREGON**

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021

Aye      Nay      Abstain/Absent

\_\_\_\_\_  
Mary Faith Bell, Chair

\_\_\_    \_\_\_    \_\_\_/\_\_\_

\_\_\_\_\_  
David Yamamoto, Vice-Chair

\_\_\_    \_\_\_    \_\_\_/\_\_\_

\_\_\_\_\_  
Erin D. Skaar, Commissioner

\_\_\_    \_\_\_    \_\_\_/\_\_\_

ATTEST:      Tassi O'Neil, County Clerk

APPROVED AS TO FORM.

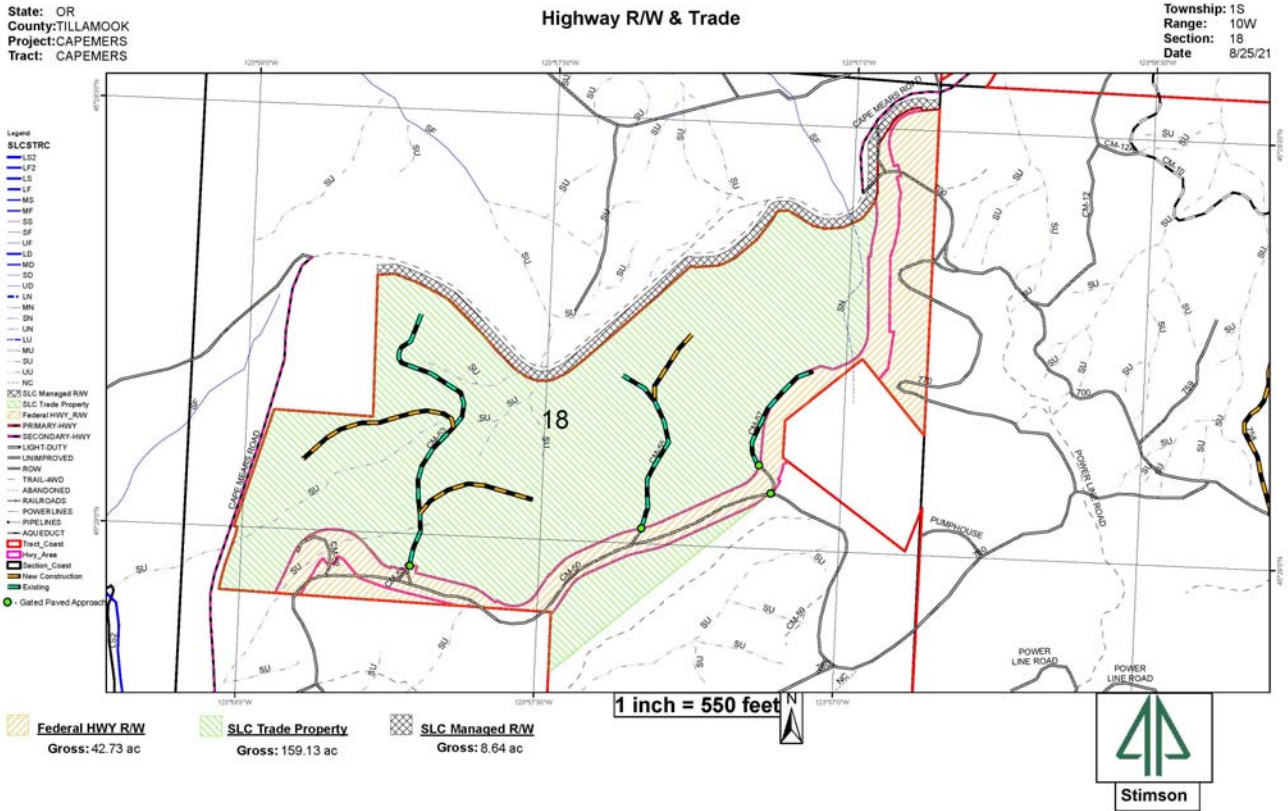
By: \_\_\_\_\_  
Special Deputy

\_\_\_\_\_  
Joel W. Stevens, County Counsel

## EXHIBIT A STIMSON OWNED REAL PROPERTY

### Cape Meares 160 Description

Portions of Tax Lot 802, Section 18, Township 1 South, Range 10 West, W.M. as depicted in the figure below.



**EXHIBIT B**  
**COUNTY OWNED REAL PROPERTY**

Fairview 80 Description

E ½ of the NE ¼ of Section 26, Township 1 South, Range 9 West, W.M.

Hobson 40 Description

NW ¼ of the NW ¼ of Section 15, Township 1 North, Range 10 West, W.M.

Schiffman 29 Description

E ¾ of the SE ¼ of the SW ¼ of Section 31, Township 3 North, Range 9 West, W.M.

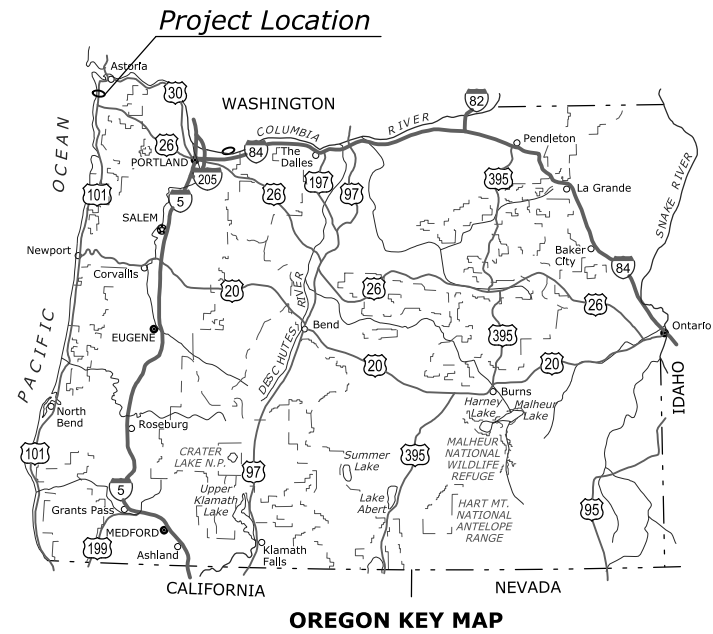
Wolf Creek 79 Description

N ½ of the SE ¼ of Section 1, Township 3 North, Range 6 West, W.M.

**EXHIBIT C**  
**U.S. Department of Transportation - Federal Highway Administration**  
**Right of Way Plan for**  
**Cape Meares Road Relocation**

STATE	PROJECT	SHEET NUMBER	TOTAL SHEETS
OR	TILLAMOOK B780(1)	1	8

INDEX TO SHEETS	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	SYMBOLS & ABBREVIATIONS
3	TYPICAL SECTION
4	VICINITY MAP
5-(x)	RIGHT-OF-WAY PLAN SHEETS



# U. S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION



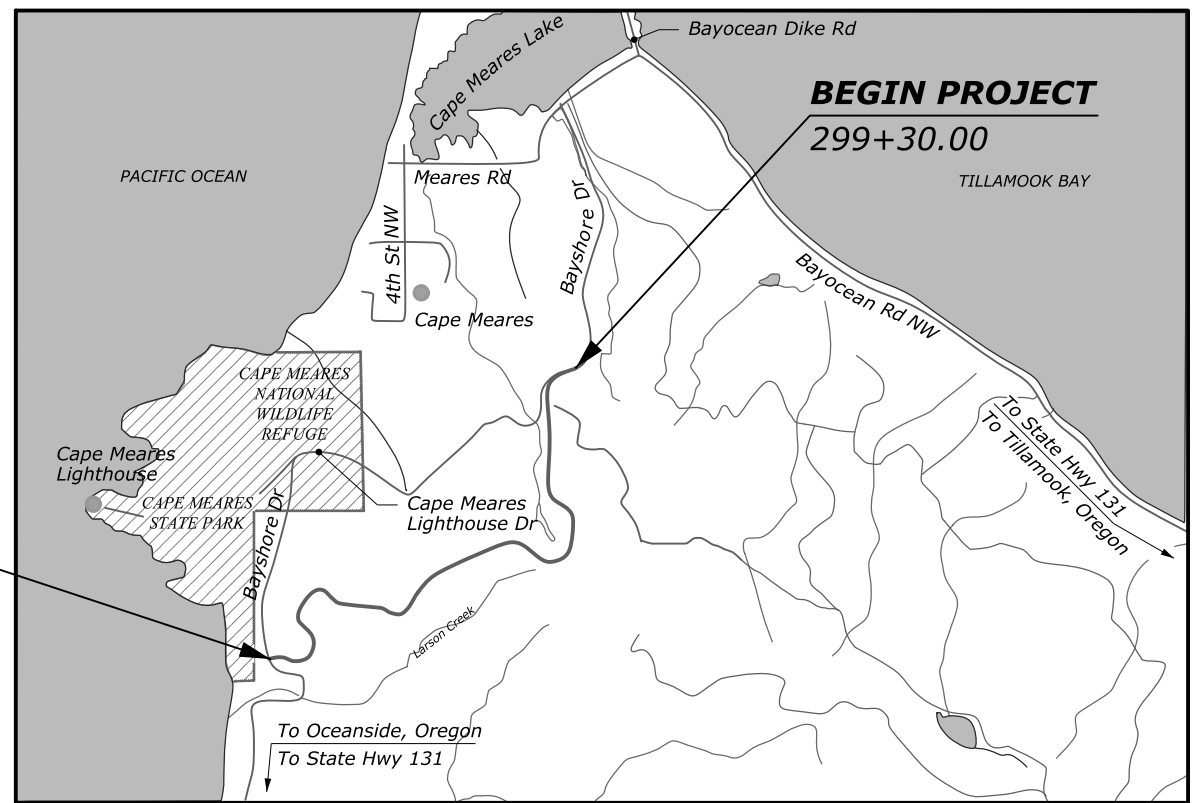
RIGHT OF WAY PLANS FOR PROPOSED PROJECT  
OR TILLAMOOK B780(1)

## CAPE MEARES ROAD RELOCATION

CAPE MEARES NATIONAL WILDLIFE REFUGE  
TILLAMOOK COUNTY  
OREGON

LENGTH 1.697 MILES

**Cape Meares Lighthouse Drive**  
T. 1 S., R. 10 W., Willamette Meridian  
Section 18



**TYPE OF CONSTRUCTION:**

Excavation, embankment, roadway aggregate, paving, MSE walls, retaining walls, drainage

**SPECIFICATION:**

Standard Specifications for Construction of Roads and Bridges on Federal Highway Projects, FP-14

**END PROJECT**  
390+15.58



PLANS PREPARED BY  
**U.S. DEPARTMENT OF TRANSPORTATION  
FEDERAL HIGHWAY ADMINISTRATION**  
WESTERN FEDERAL LANDS HIGHWAY DIVISION  
VANCOUVER, WASHINGTON

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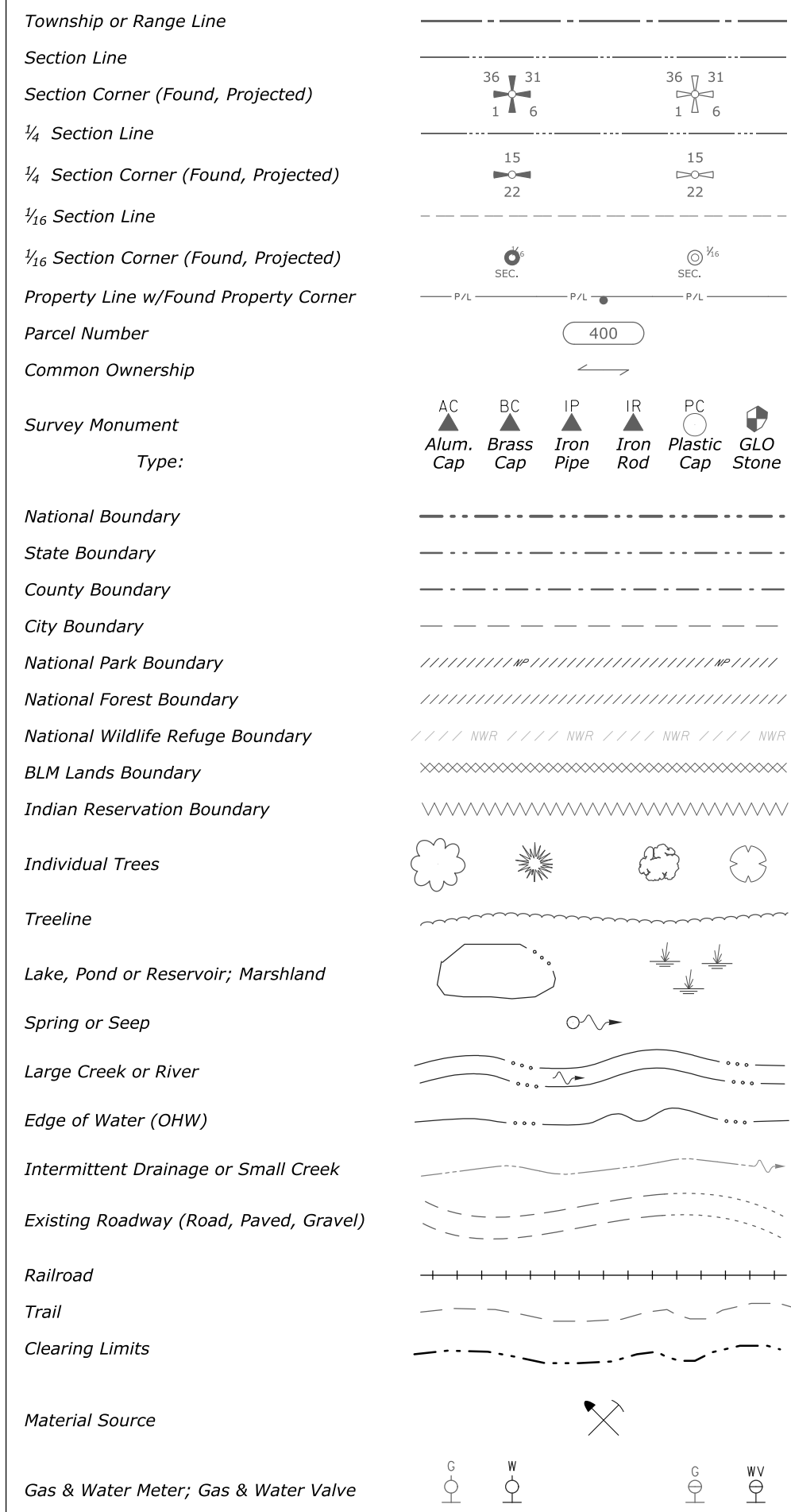
	EXISTING	PROPOSED
Right-of-Way Line	R/W	R/W
Permanent Easement	P/E	P/E
Construction Easement	Not Applicable	C/E
Roadway Centerline		
Detour Centerline	Not Applicable	
Slope Stake Limits	Top of Cut Toe of Fill Transition	
Fence	X-X-X	XX-XX-XX
Gate with Fence	X-X-X-X	XX-XX-XX-XX
Cattleguard		wall face
Retaining Wall		
Signs (single, double post; portable)		
Pipe Culvert (arrow shows flow)		
Pipe Culvert with End Section		
Pipe Culvert with Headwall		
Pipe Culvert with Drop Inlet		
Box Culvert		
Underdrain		
Building		
Overhead/Above Ground Utilities		
Underground Utilities (Underground utilities are denoted by bars on either side of designator)		

**Utility Colors and Designators**  
P = power, IRR = irrigation, W = water, STEAM = steam, G = gas, O = oil,  
FM = force main, SA = sanitary sewer, SD = storm drain, SS = storm sewer,  
FO = fiber optic, T = telephone, TV = CATV

**Poles (Power, Telephone, Joint Use, Light, Support w/Anchor)**

**Miscellaneous Utility Features**  
EM = electric meter, UP = transformer or junction box, WF = water fountain  
T = telephone pedestal, TV = CATV pedestal,

NO SCALE

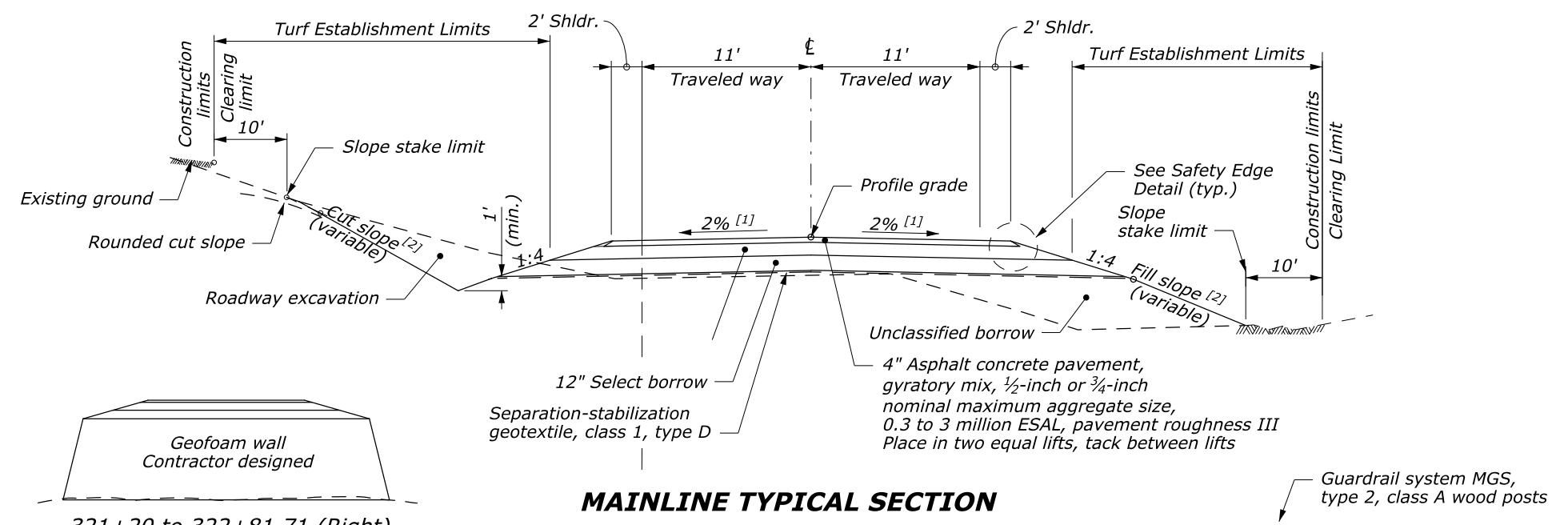


abut.	abutment	M.L.	main line
ADT	average daily traffic	M.P.	mile post
AH	ahead	matl.	material
appr.	approach	max.	maximum
BK	back	MGAL	thousand gallon
BM	bench mark	min.	minimum
BP	balance point	mon.	monument
br.	bridge	N	north
brg.	bearing	NC	normal crown
cc or c. to c.	center to center	o. c.	on center
cl.	centerline	o. to o.	out to out
CMP	corrugated metal pipe	OD	outside diameter
col.	column	OG	original ground
conc.	concrete	PC	point of curve
conn.	connection	PCC	point of compound curve
constr. jt.	construction joint	PCS	point of curve to spiral
cont.	continuous	PI	point of intersection
CS	point of curve to spiral	pl.	plate
ctrs.	centers	POC	point on curve
CUFT	cubic foot (feet)	POS	point on spiral
culv.	culvert	POT	point on tangent
CUYD	cubic yard(s)	PS	point of tangent to spiral
D	diameter	PSC	point of spiral to curve
DHV	design hourly volume	PST	point of spiral to tangent
dia.	diameter	PT	point of tangent
diag.	diagonal	pvmt.	pavement
diaph.	diaphragm	R	radius
dist.	distance	R.	range
drwg(s).	drawing(s)	R/W	right-of-way
E	east	rdwy.	roadway
e	superelevation rate	rein.	reinforcement
El. 94.61 ft	elevation with number	reqd.	required
elev.	elevation	rt. or RT	right
emb.	embankment	rte.	route
EP	edge of pavement	S	south
EQ or eq.	equation	SADT	seasonal average daily traffic
ER	edge of road	SC	section
EW	edge of water	sec.	section
exc.	excavation	shldr.	shoulder
exp. jt.	expansion joint	SLRY	slurry unit
fin.	finish	spa.	spacing, spaces or spaced
flg.	flange	SQFT	square foot
ft2	square foot	SQYD	square yard
ft3	cubic foot (feet)	SRS	point of spiral to reverse spiral
ftg.	footing	SS	point of spiral to spiral (no curve)
ga.	gage (gauge)	ST	point of spiral to tangent
galv.	galvanized	STA, Sta.	station
hdwl.	headwall	std.	standard
hex.	hexagon	stgr.	stringer
HW	high water	stiff.	stiffener
	inside diameter	struc.	structural
	joint	STS	point of spiral to tangent spiral
L	length of curve	sym.	symmetrical
lam.	lamination	T	tangent distance
lat.	latitude	T.	township
LNFT	linear foot (feet)	TBM	temporary bench mark
long.	longitudinal	thd.	thread
LPSM	lump sum	ts	point of tangent to spiral
Ls	length of spiral	Ts	tangent distance (spiraled curve)
lt. or LT	left	typ.	typical
LW	low water	V	design speed
		vph	vehicles per hour
		VPI	vertical point of intersection
		W	west
		yd2	square yard
		yd3	cubic yard(s)

U.S. DEPARTMENT OF TRANSPORTATION  
FEDERAL HIGHWAY ADMINISTRATION  
WESTERN FEDERAL LANDS HIGHWAY DIVISION  
VANCOUVER, WASHINGTON

SYMBOLS AND ABBREVIATIONS

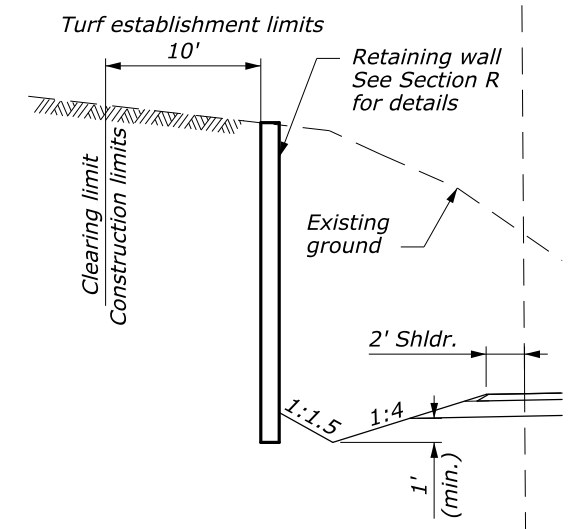
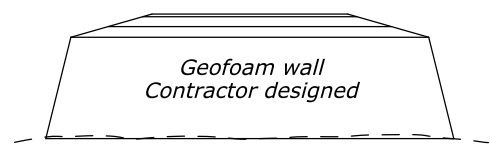
**CAPE MEARES ROAD RELOCATION  
OR TILLAMOOK B780(1)  
TILLAMOOK COUNTY  
OREGON**



**MAINLINE TYPICAL SECTION**

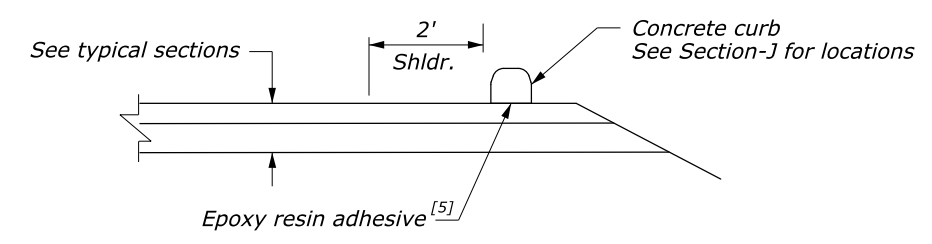
321+20 to 322+81.71 (Right)  
321+34.95 to 322+96 (Left)

299+30 to 390+26

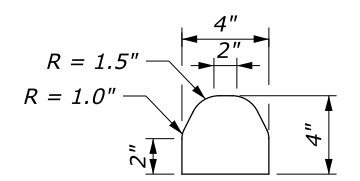


**MAINLINE SHOULDER DETAIL SOLDIER PILE WALL SECTION**

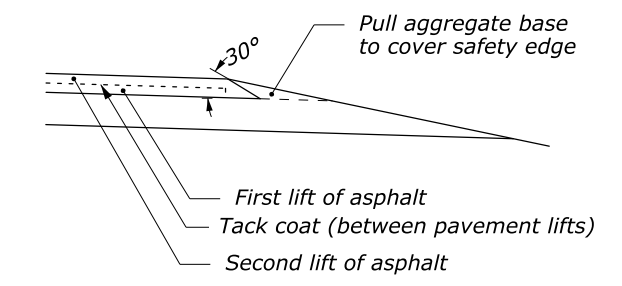
312+78.46 to 314+81.00



**CONCRETE CURB TYPICAL PLACEMENT**



**CONCRETE CURB**



**SAFETY EDGE DETAIL**

<b>CURVE WIDENING [4]</b>	
LOCATION	WIDTH (ft)
299+22 to 309+98	6.1
305+13 to 312+29	4.6
310+26 to 313+25	4.6
317+87 to 322+63	6.2
325+27 to 331+62	6.2
329+00 to 335+22	6.2
340+92 to 343+94	3.6
342+11 to 345+18	3.6
347+26 to 351+67	6.2
349+14 to 357+53	6.9
355+43 to 358+55	8.4
363+48 to 367+19	8.7
364+95 to 374+66	8.7
373+38 to 379+83	6.2
377+50 to 388+58	7.3
386+70 to 390+26	6.2

**FOOTNOTE:**

- [1] Superelevate roadway on curves at the rate "e" as indicated on the plan and profile curve data.
- [2] Construct slopes as shown in the Staking Report.
- [3] For cut heights less than "B" reduce "B" to the cut height dimension and reduce the front slope rounding distance proportionally.
- [4] Apply half of the curve widening to both traveled ways. The field notes reflect the curve widening.
- [5] See Section 609 for anchoring methods.

<b>PAVEMENT STRUCTURE QUANTITIES</b>				
ITEM NO.	DESCRIPTION	UNIT	QUANTITY	ESTIMATING VALUE AND REMARKS
20411-0000	SELECT BORROW	TON	29,504	1.85 TON/CUYD
20701-0400	SEPARATION-STABILIZATION GEOTEXTILE, CLASS 1, TYPE D	SQYD	45,480	
30101-2000	AGGREGATE BASE GRADING D	TON	19,534	1.97 TON/CUYD
40101-5600	ASPHALT CONCRETE PAVEMENT, GYRATORY MIX, 1/2-INCH OR 3/4-INCH NOMINAL MAXIMUM AGGREGATE SIZE, 0.3 TO <3 MILLION ESAL	TON	7,027	1.94 TON/CUYD
40105-3000	ANTISTRIP ADDITIVE, TYPE 3	TON	69	1% by weight of ITEM 40101-5600
41201-0000	TACK COAT	TON	13	0.10 GAL/SQYD per application, 240 GAL/TON
61102-2950	6-INCH WATERLINE, POLYVINYL CHLORIDE (PVC)	LNFT	1,896	

NO SCALE

U.S. DEPARTMENT OF TRANSPORTATION  
FEDERAL HIGHWAY ADMINISTRATION  
WESTERN FEDERAL LANDS HIGHWAY DIVISION  
VANCOUVER, WASHINGTON

TYPICAL SECTION

**CAPE MEARES ROAD RELOCATION  
OR TILLAMOOK B780(1)  
TILLAMOOK COUNTY  
OREGON**

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STATE	PROJECT	SHEET NUMBER	TOTAL SHEETS
OR	TILLAMOOK B780(1)	4	9

T. 01 S., R. 10 W., WILLAMETTE MERIDIAN  
SECTION 18



**BEGIN PROJECT**  
**OR TILLAMOOK B780(1)**  
**299+30.00**  
 N=684475.3571  
 E=7318101.5811  
 EI=359.09

County R/W  
 Book 167, pages 226-228  
 Tillamook County Deed Records

40' Waterline easement  
 Book 20, Page 246  
 Book 160, Page 176  
 Tillamook County Deed Records

001  
 Stimson Lumber Company  
 520 SW Yamhill ST STE 700  
 Portland, OR 97204-1330  
 412703

002  
 Oceanside Water District  
 330 PO Box 360  
 Oceanside, OR. 97134-1800  
 304628  
 Book 160 page 176  
 CS B-3587

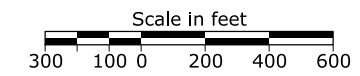
001  
 Stimson Lumber Company  
 520 SW Yamhill ST STE 700  
 Portland, OR 97204-1330  
 412703

001  
 Stimson Lumber Company  
 520 SW Yamhill ST STE 700  
 Portland, OR 97204-1330  
 412703

003  
 Green Crow Corporation  
 PO box 2469  
 Port Angeles, WA 98362-0315  
 409837

PARCEL NUMBER	TITLE OWNER	TOTAL OWNERSHIP ACRES	TOTAL R.O.W & PERMANENT EASEMENT ACRES	EXISTING R.O.W. (Sec 18) ACRES	R.O.W. TO BE ACQUIRED ACRES	PERMANENT EASEMENT TO BE ACQUIRED ACRES	TEMPORARY CONSTRUCTION EASEMENT ACRES
001	Stimson Lumber Company	N/A	43.80	N/A	42.73	0	0.39
002	Oceanside Water District	N/A	1.73	N/A	0.51	1.22	N/A
003	Green Crow Corporation	N/A	7.48	N/A	3.83	3.65	0.74

**END PROJECT**  
**OR TILLAMOOK B780(1)**  
**390+15.58**  
 N=680094.9884  
 E=7313078.8130  
 EL=363.05



U.S. DEPARTMENT OF TRANSPORTATION  
 FEDERAL HIGHWAY ADMINISTRATION  
 WESTERN FEDERAL LANDS HIGHWAY DIVISION  
 VANCOUVER, WASHINGTON

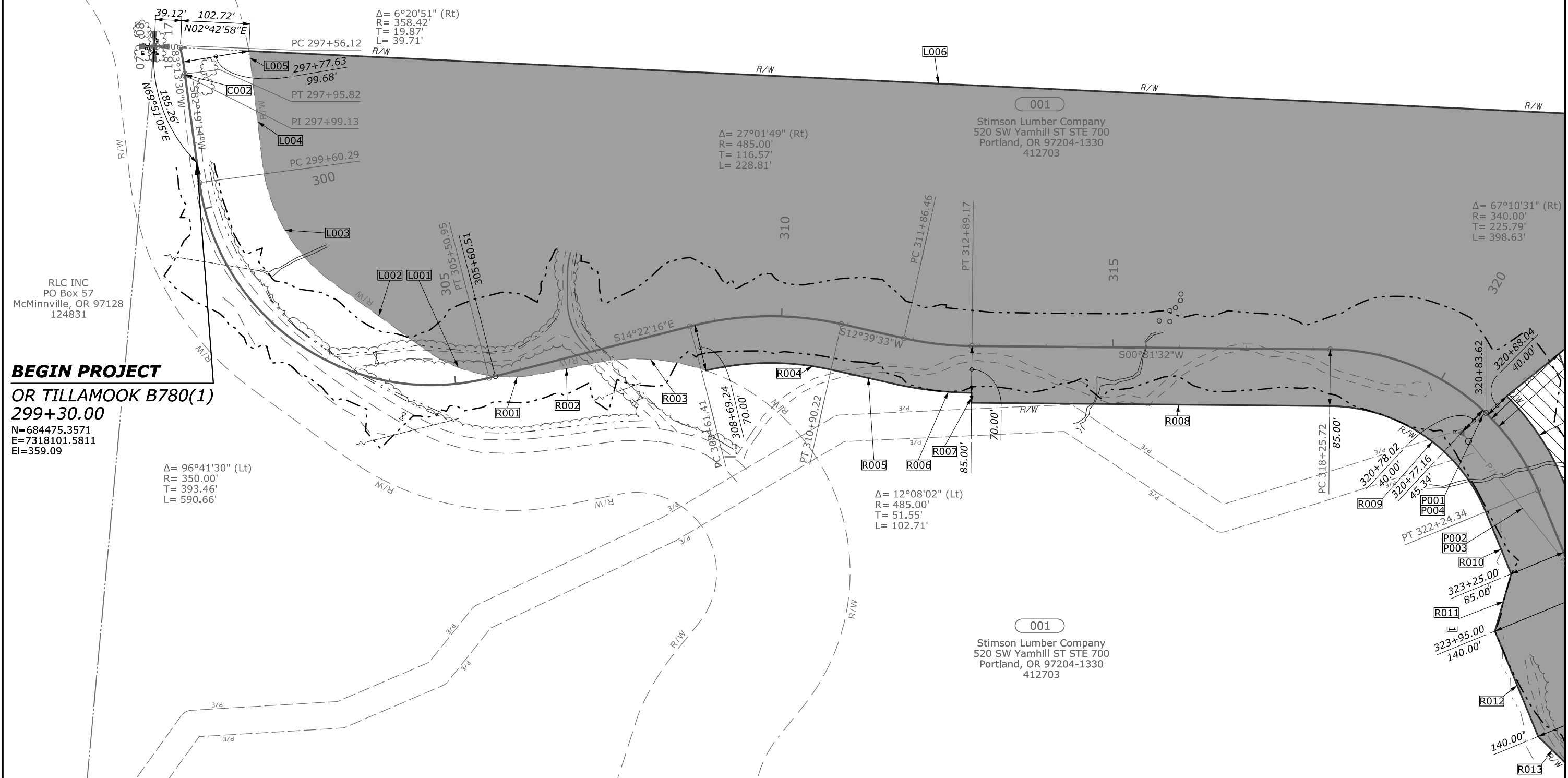
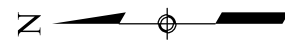
VICINITY MAP

**CAPE MEARES ROAD RELOCATION  
 OR TILLAMOOK B780(1)  
 TILLAMOOK COUNTY  
 OREGON**

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T. 01 S., R. 10 W., WILLAMETTE MERIDIAN  
SECTION 18



RLC INC  
PO Box 57  
McMinnville, OR 97128  
124831

**BEGIN PROJECT**  
**OR TILLAMOOK B780(1)**  
**299+30.00**  
N=684475.3571  
E=7318101.5811  
El=359.09

$\Delta = 96^\circ 41' 30''$  (Lt)  
R= 350.00'  
T= 393.46'  
L= 590.66'

$\Delta = 6^\circ 20' 51''$  (Rt)  
R= 358.42'  
T= 19.87'  
L= 39.71'

$\Delta = 27^\circ 01' 49''$  (Rt)  
R= 485.00'  
T= 116.57'  
L= 228.81'

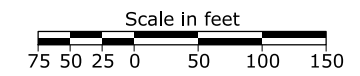
$\Delta = 67^\circ 10' 31''$  (Rt)  
R= 340.00'  
T= 225.79'  
L= 398.63'

$\Delta = 12^\circ 08' 02''$  (Lt)  
R= 485.00'  
T= 51.55'  
L= 102.71'

PARCEL NUMBER	TITLE OWNER	TOTAL OWNERSHIP ACRES	TOTAL R.O.W & PERMANENT EASEMENT ACRES	EXISTING R.O.W. (Sec 18) ACRES	R.O.W. TO BE ACQUIRED ACRES	PERMANENT EASEMENT TO BE ACQUIRED ACRES	TEMPORARY CONSTRUCTION EASEMENT ACRES
001	Stimson Lumber Company	N/A	43.80	N/A	42.73	0	0.39

**LEGEND:**

- Proposed Right of Way
- R/W
- Permanent Easement for (Special Purpose Here)
- P/E
- Construction Easement
- C/E



U.S. DEPARTMENT OF TRANSPORTATION  
FEDERAL HIGHWAY ADMINISTRATION  
WESTERN FEDERAL LANDS HIGHWAY DIVISION  
VANCOUVER, WASHINGTON

RIGHT-OF-WAY PLAN SHEET

**CAPE MEARES ROAD RELOCATION  
OR TILLAMOOK B780(1)  
TILLAMOOK COUNTY  
OREGON**

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STATE	PROJECT	SHEET NUMBER	TOTAL SHEETS
OR	TILLAMOOK B780(1)	7	9

T. 01 S., R. 10 W., WILLAMETTE MERIDIAN  
SECTION 18

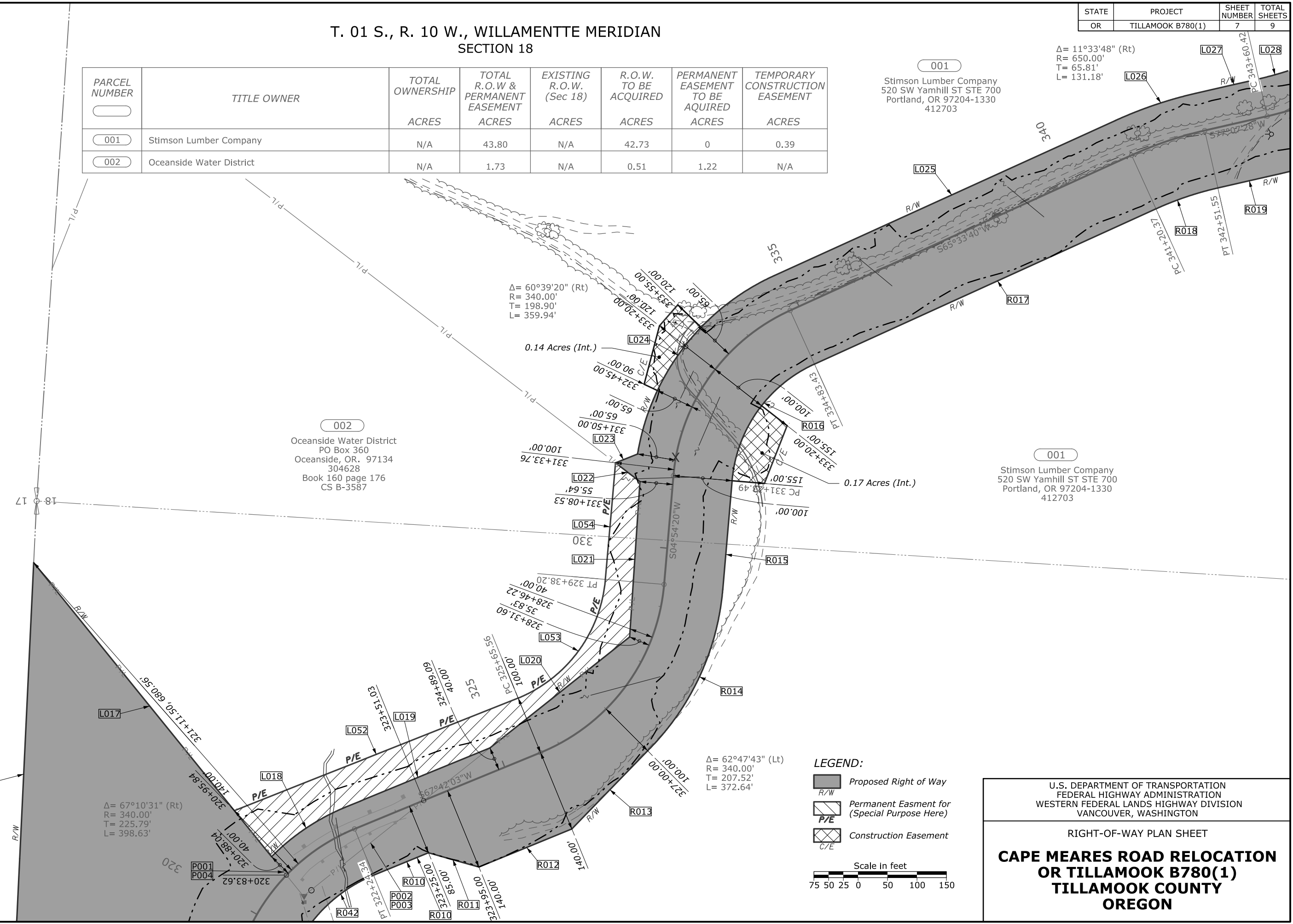
PARCEL NUMBER	TITLE OWNER	TOTAL OWNERSHIP ACRES	TOTAL R.O.W & PERMANENT EASEMENT ACRES	EXISTING R.O.W. (Sec 18) ACRES	R.O.W. TO BE ACQUIRED ACRES	PERMANENT EASEMENT TO BE ACQUIRED ACRES	TEMPORARY CONSTRUCTION EASEMENT ACRES
001	Stimson Lumber Company	N/A	43.80	N/A	42.73	0	0.39
002	Oceanside Water District	N/A	1.73	N/A	0.51	1.22	N/A

001  
Stimson Lumber Company  
520 SW Yamhill ST STE 700  
Portland, OR 97204-1330  
412703

$\Delta = 11^{\circ}33'48''$  (Rt)  
R = 650.00'  
T = 65.81'  
L = 131.18'

002  
Oceanside Water District  
PO Box 360  
Oceanside, OR. 97134  
304628  
Book 160 page 176  
CS B-3587

001  
Stimson Lumber Company  
520 SW Yamhill ST STE 700  
Portland, OR 97204-1330  
412703



**LEGEND:**

- Proposed Right of Way
- Permanent Easement for (Special Purpose Here)
- Construction Easement

Scale in feet  
75 50 25 0 50 100 150

U.S. DEPARTMENT OF TRANSPORTATION  
FEDERAL HIGHWAY ADMINISTRATION  
WESTERN FEDERAL LANDS HIGHWAY DIVISION  
VANCOUVER, WASHINGTON

RIGHT-OF-WAY PLAN SHEET

**CAPE MEARES ROAD RELOCATION  
OR TILLAMOOK B780(1)  
TILLAMOOK COUNTY  
OREGON**

c:\pwwork\0262104\or-0577801.jpg.dgn [int\_r2D]  
23 July 2021 8:38 AM

T. 01 S., R. 10 W., WILLAMETTE MERIDIAN  
SECTION 18



$\Delta = 94^{\circ}27'00''$  (Rt)  
R = 300.00'  
T = 324.25'  
L = 494.54'

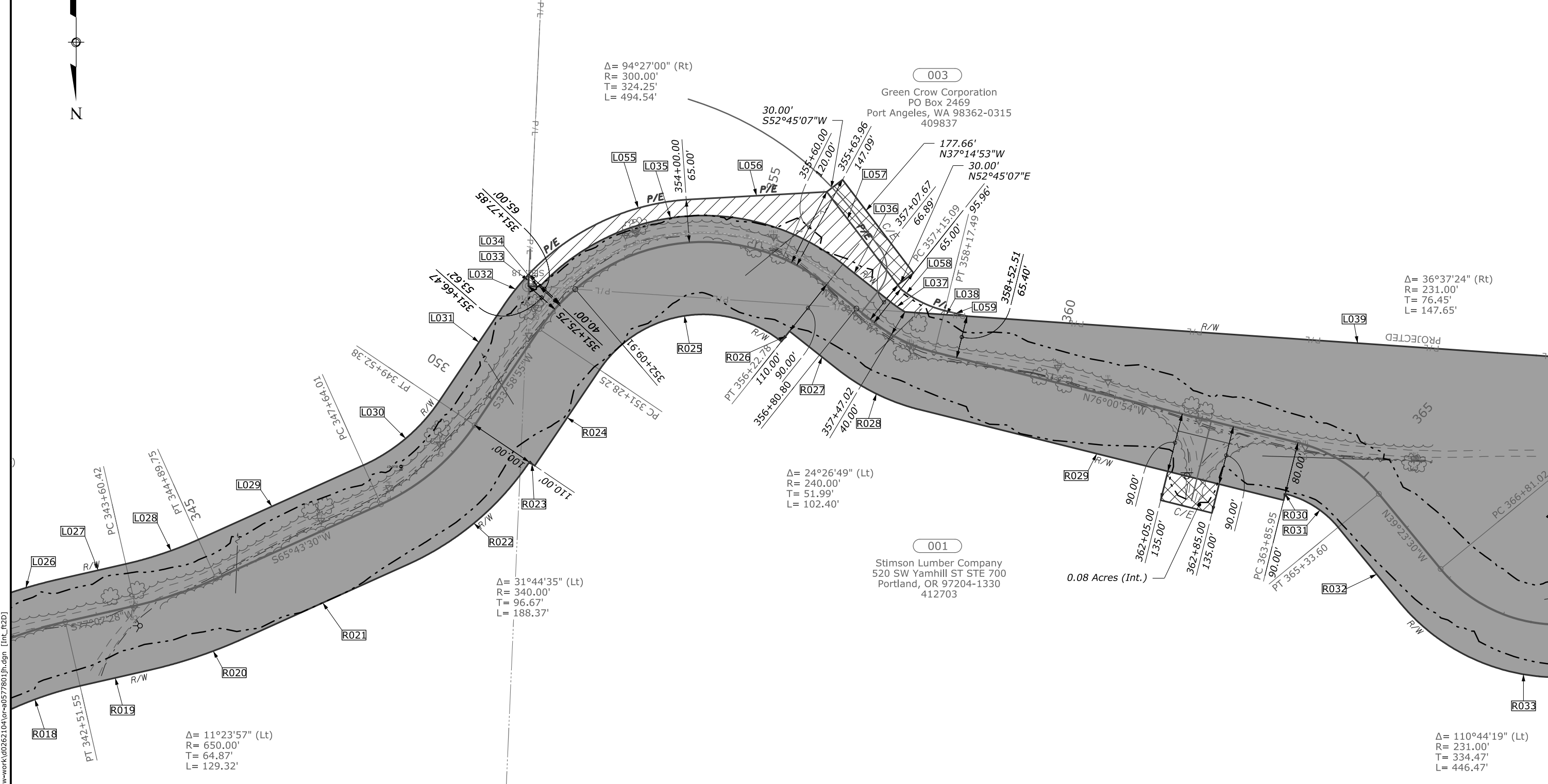
$\Delta = 36^{\circ}37'24''$  (Rt)  
R = 231.00'  
T = 76.45'  
L = 147.65'

$\Delta = 24^{\circ}26'49''$  (Lt)  
R = 240.00'  
T = 51.99'  
L = 102.40'

$\Delta = 31^{\circ}44'35''$  (Lt)  
R = 340.00'  
T = 96.67'  
L = 188.37'

$\Delta = 11^{\circ}23'57''$  (Lt)  
R = 650.00'  
T = 64.87'  
L = 129.32'

$\Delta = 110^{\circ}44'19''$  (Lt)  
R = 231.00'  
T = 334.47'  
L = 446.47'



PARCEL NUMBER	TITLE OWNER	TOTAL OWNERSHIP ACRES	TOTAL R.O.W. & PERMANENT EASEMENT ACRES	EXISTING R.O.W. (Sec 18) ACRES	R.O.W. TO BE ACQUIRED ACRES	PERMANENT EASEMENT TO BE ACQUIRED ACRES	TEMPORARY CONSTRUCTION EASEMENT ACRES
001	Stimson Lumber Company	N/A	43.80	N/A	42.73	0	0.39
003	Green Crow Corporation	N/A	7.48	N/A	3.83	3.65	0.74

**LEGEND:**

- Proposed Right of Way
- R/W
- Permanent Easement for (Special Purpose Here) P/E
- Construction Easement C/E

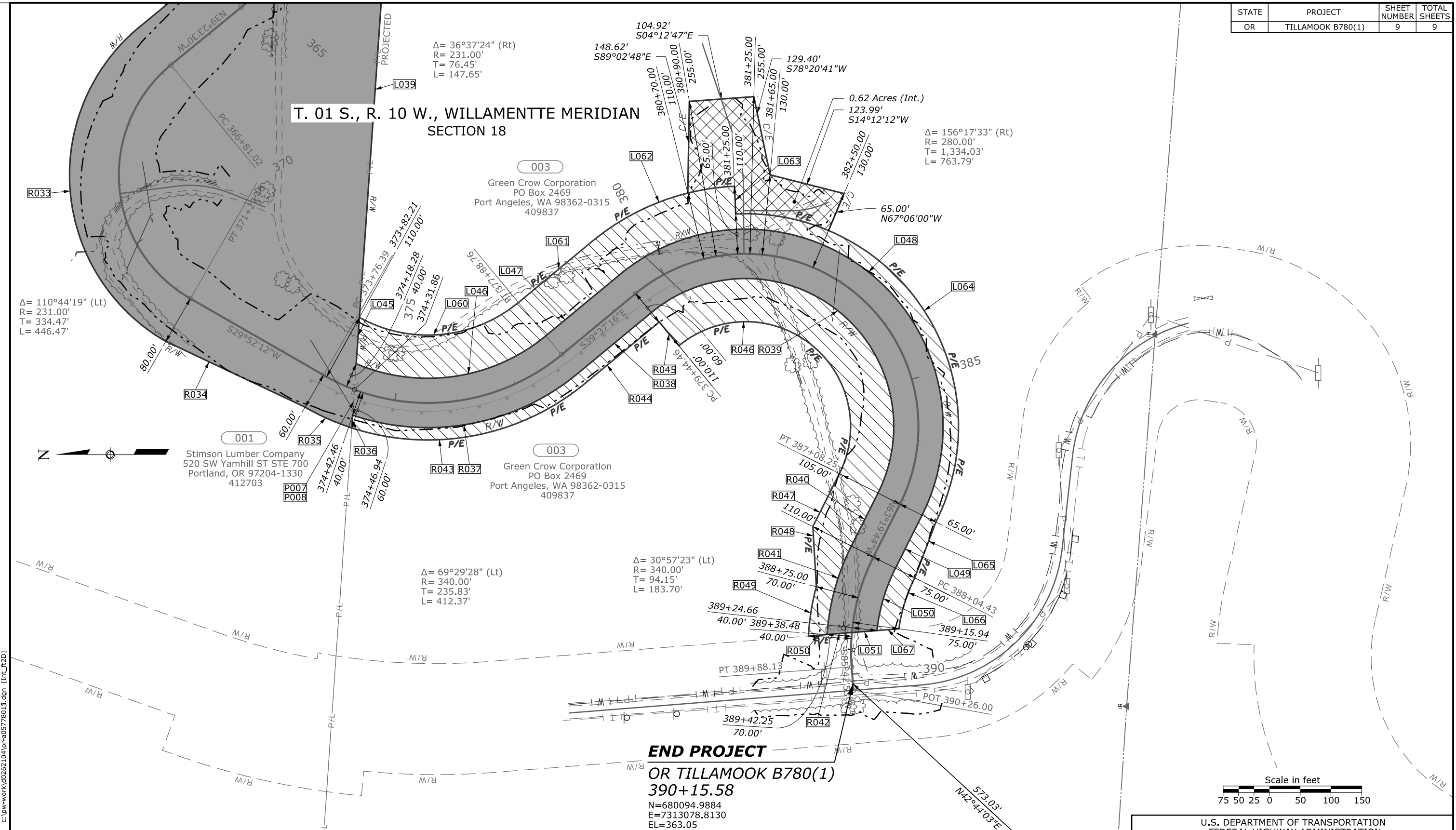
Scale in feet  
75 50 25 0 50 100 150

U.S. DEPARTMENT OF TRANSPORTATION  
FEDERAL HIGHWAY ADMINISTRATION  
WESTERN FEDERAL LANDS HIGHWAY DIVISION  
VANCOUVER, WASHINGTON

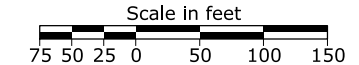
RIGHT-OF-WAY PLAN SHEET

**CAPE MEARES ROAD RELOCATION  
OR TILLAMOOK B780(1)  
TILLAMOOK COUNTY  
OREGON**

T. 01 S., R. 10 W., WILLAMETTE MERIDIAN  
SECTION 18



**END PROJECT**  
**OR TILLAMOOK B780(1)**  
**390+15.58**  
 N=680094.9884  
 E=7313078.8130  
 EL=363.05



U.S. DEPARTMENT OF TRANSPORTATION  
 FEDERAL HIGHWAY ADMINISTRATION  
 WESTERN FEDERAL LANDS HIGHWAY DIVISION  
 VANCOUVER, WASHINGTON

RIGHT-OF-WAY PLAN SHEET

**CAPE MEARES ROAD RELOCATION  
 OR TILLAMOOK B780(1)  
 TILLAMOOK COUNTY  
 OREGON**

- LEGEND:**
- Proposed Right of Way
  - Permanent Easement for (Special Purpose Here)
  - Construction Easement

PARCEL NUMBER	TITLE OWNER	TOTAL OWNERSHIP ACRES	TOTAL R.O.W & PERMANENT EASEMENT ACRES	EXISTING R.O.W. (Sec 18) ACRES	R.O.W. TO BE ACQUIRED ACRES	PERMANENT EASEMENT TO BE ACQUIRED ACRES	TEMPORARY CONSTRUCTION EASEMENT ACRES
001	Stimson Lumber Company	N/A	43.80	N/A	42.73	0	0.39
003	Green Crow Corporation	N/A	7.48	N/A	3.83	3.65	0.74