**Tillamook County**

**DEPARTMENT OF COMMUNITY DEVELOPMENT**
***BUILDING, PLANNING & ON-SITE SANITATION SECTIONS***

**1510 – B Third Street**
**Tillamook, Oregon 97141**
**www.tillamookcounty.gov**

*Land of Cheese, Trees and Ocean Breeze*

# Floodplain Development Permit Variance Request
# 851-24-000551-PLNG: ROCHA/SHERER

*NOTICE TO MORTGAGEE, LIENHOLDER, VENDOR OR SELLER:*
*ORS 215 REQUIRES THAT IF YOU RECEIVE THIS NOTICE,*
*IT MUST BE PROMPTLY FORWARDED TO THE PURCHASER*

**NOTICE OF ADMINISTRATIVE REVIEW**
**Date of Notice: March 14, 2025**

Notice is hereby given that the Tillamook County Department of Community Development is considering the following:

**851-24-000551-PLNG:** A Floodplain Development Permit Variance request for the construction of an agricultural building for storage located in the Rural Residential 2-Acre (RR-2) zone. The subject property is located off Tomlinson Road, a County road, and is designated as Tax Lot 1600 in Section 26 of Township 1 South, Range 10 West, W.M., Tillamook County, Oregon. The applicant is Grant Rocha and the property owner is Brett & Kristi Sherer.

Written comments received by the Department of Community Development prior to 4:00 p.m. on March 28, 2025, will be considered in rendering a decision. Comments should address the standards upon which the Department must base its decision. A decision will be rendered no sooner than the next business day, March 31, 2025.

Notice of the application, a map of the subject area, and the applicable criteria are being mailed to all property owners within 250-feet of the exterior boundaries of the subject parcel for which an application has been made and other appropriate agencies at least 14-days prior to this Department rendering a decision on the request.

A copy of the application, along with a map of the request area and the applicable criteria for review are available for inspection at the Department of Community Development office located at 1510-B Third Street, Tillamook, Oregon 97141, or on the Tillamook County Department of Community Development website: https://www.co.tillamook.or.us/gov/ComDev/planning/default.htm

If you have any questions about this application, please call the Department of Community Development Sarah Thompson, Office Specialist, at 503-842-3408 x 3423 or sarah.thompson@tillamookcounty.gov.

Sincerely,

Melissa Jenck, CFM, Senior Planner

Sarah Absher, CFM, Director

Enc. Maps, Applicable Ordinance Standards

# Applicable Criteria

**Article III – ZONE REGULATIONS**
**SECTION 3.510(15)(c) 'Appeals, Reductions and Variances'**

(c) Variances to the standards contained in Section 3.510 shall be issued only in accordance with the following criteria:

(1) Generally, the only condition under which a variance from the elevation standard may be issued is for new construction and substantial improvements to be erected on a lot of one-half acre or less in size contiguous to and surrounded by lots with existing structures constructed below the base flood level, providing the items in subsection (15)(c)(2) have been fully considered. As the lot size increases the technical justification required for issuing the variance increases.

(2) The following items shall be considered in review of variance applications:

(i) The danger that materials may be swept onto other lands to the injury of others;

(ii) The danger to life and property due to flooding or erosion damage;

(iii) The susceptibility of the proposed facility and its contents to flood damage and the effect of such damage on the individual owner;

(iv) The importance of the services provided by the proposed facility to the community;

(v) The necessity to the facility of a waterfront location, where applicable;

(vi) The availability of alternative locations for the proposed use which are not subject to flooding or erosion damage;

(vii) The compatibility of the proposed use with existing and anticipated development;

(viii) The relationship of the proposed use to the comprehensive plan and flood plain management program for that area;

(ix) The safety of access to the property in times of flood for ordinary and emergency vehicles;

(x) The expected heights, velocity, duration, rate of rise, and sediment transport of the flood waters and the effects of wave action, if applicable, expected at the site; and,

(xi) The costs of providing governmental services during and after flood conditions, including maintenance and repair of public utilities and facilities such as sewer, gas, electrical, and water systems, and streets and bridges.

(3) Variances may be issued for the reconstruction, rehabilitation, or restoration of structures listed on the National Register of Historic Places or the Statewide Inventory of Historic Properties, without regard to the procedures set forth in this section.

(4) Variances shall not be issued within a designated floodway if any increase in flood levels during the base flood discharge would result.

(5) Variances shall only be issued upon a determination that the variance is the minimum necessary, considering the flood hazard, to afford relief.

(6) Variances shall be issued only upon:

(i) A showing of good and sufficient cause;

(ii) A determination that failure to grant the variance would result in exceptional hardship to the applicant;

(iii) A determination that the granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, create nuisances, cause fraud on or victimization of the public as identified in subsection (15)(c)(2), or conflict with existing local laws or ordinances.

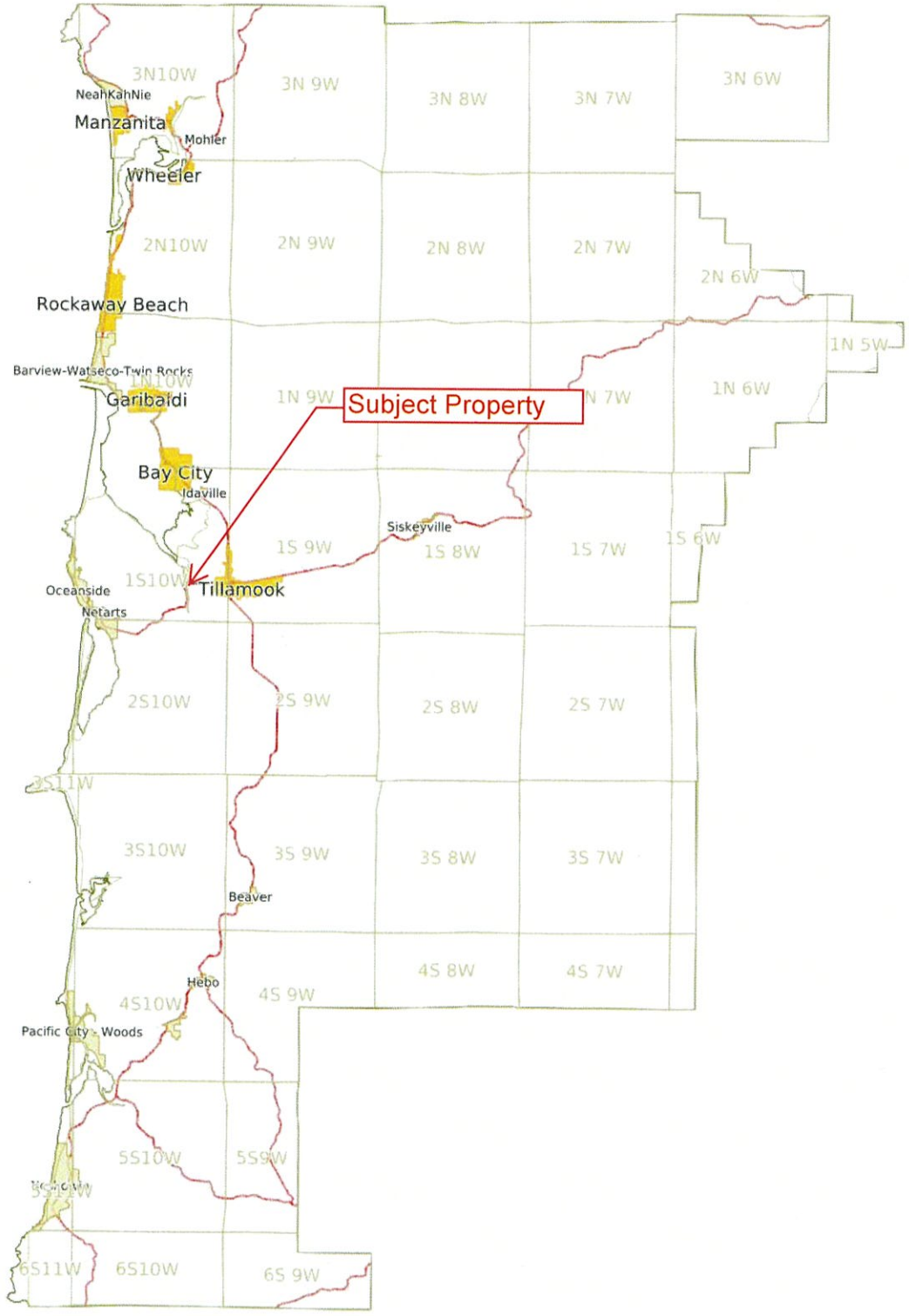
(7) Variances as interpreted in the National Flood Insurance Program are based on the general zoning law principle that they pertain to a physical piece of property; they are not personal in nature and do not pertain to the structure, its inhabitants, economic or financial circumstances. They primarily address small lots in densely populated residential neighborhoods. As such, variances from the flood elevations should be quite rare.

(8) Variances may be issued for nonresidential buildings in very limited circumstances to allow a lesser degree of floodproofing than watertight or dry-floodproofing, where it can be determined that such action will have low damage potential, complies with all other variance criteria except subsection (15)(c)(1), and otherwise complies with general standards in Section 3.510(5).

(9) Any applicant to whom a variance is granted shall be given written notice that the structure will be permitted to be built with a lowest floor elevation below the base flood elevation and that the cost of flood insurance will be commensurate with the increased risk resulting from the reduced lowest floor elevation.

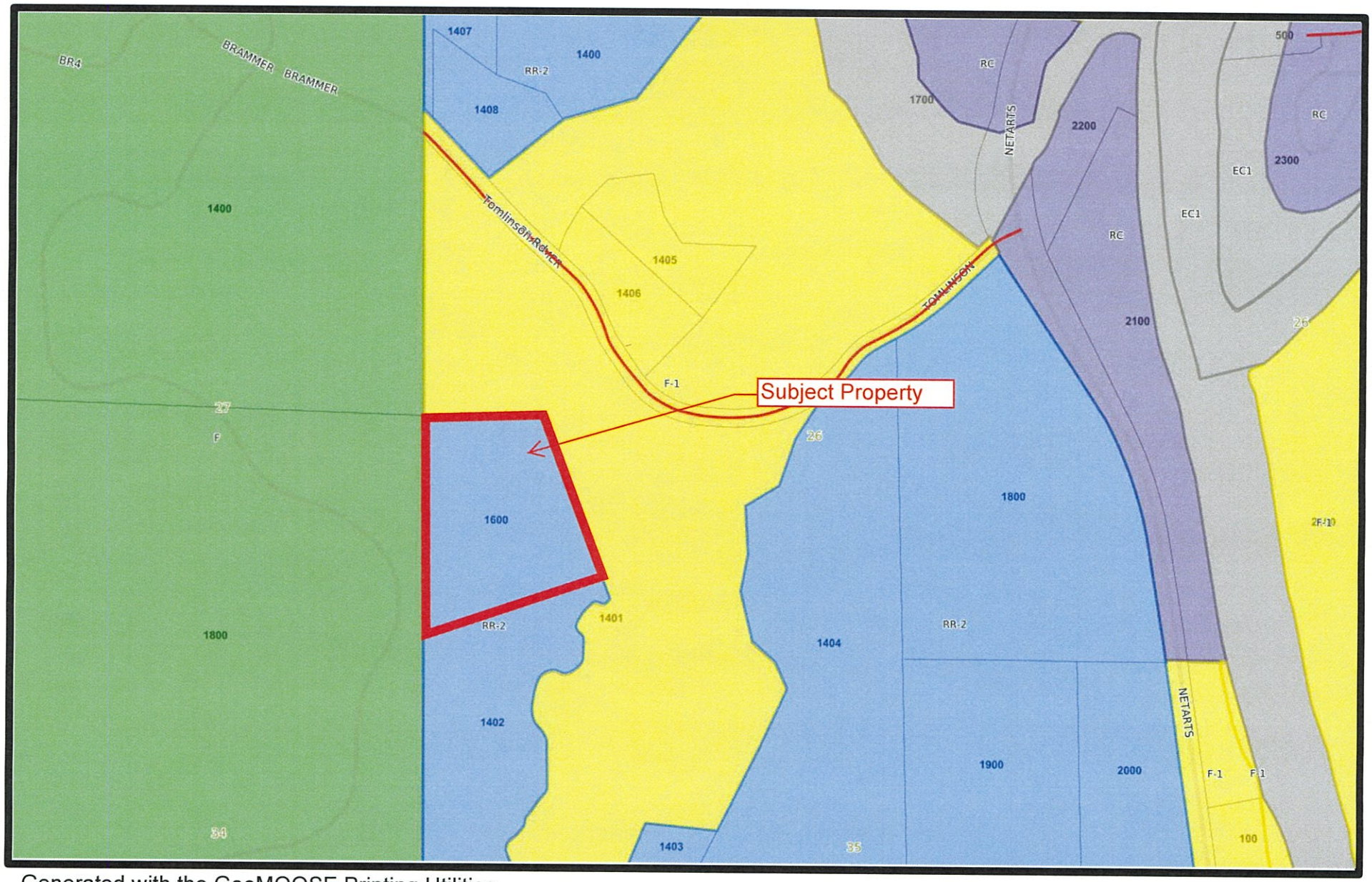
# EXHIBIT A

# Vicinity Map




Generated with the GeoMOOSE Printing Utilities

# Zoning Map

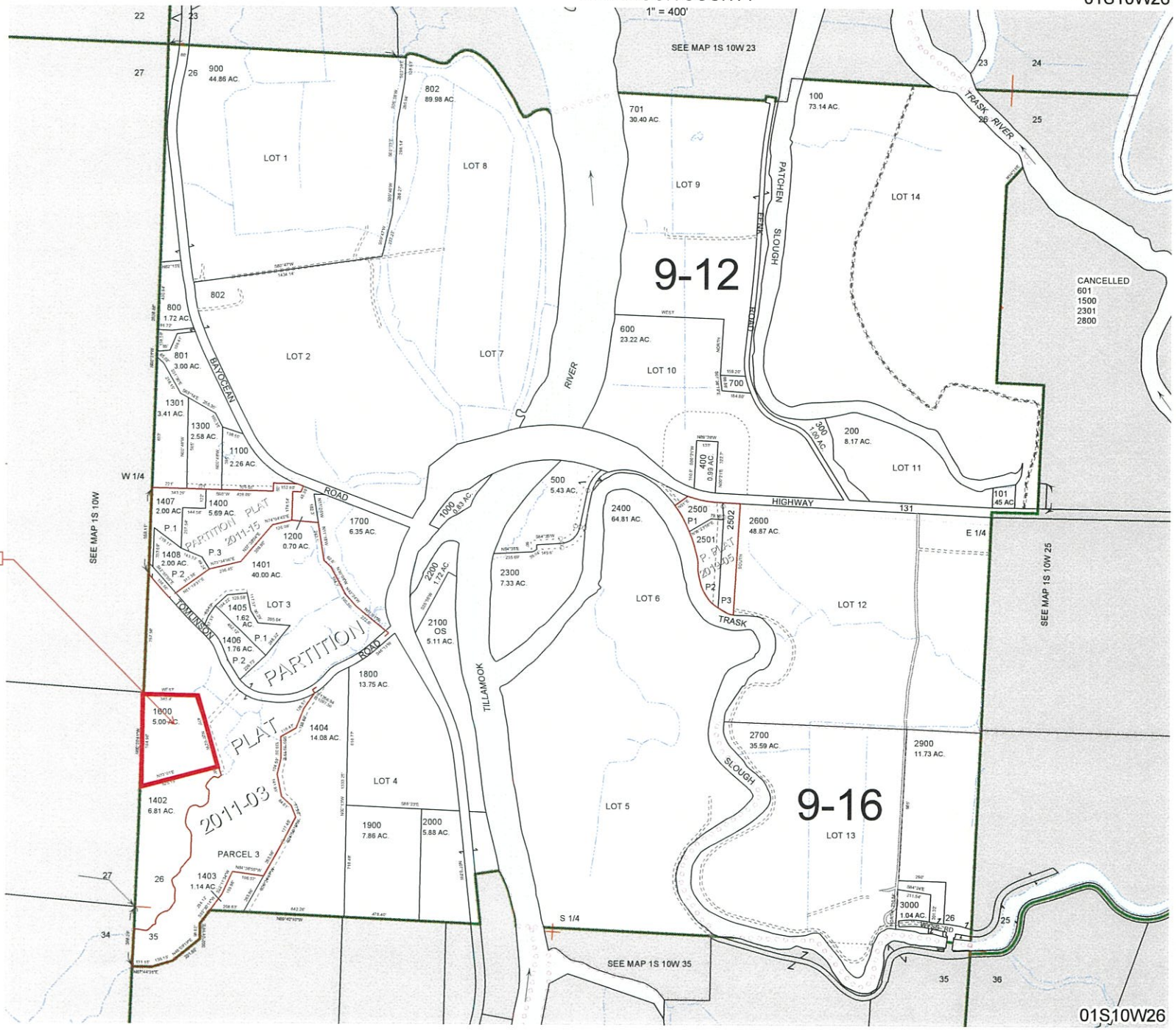



Generated with the GeoMOOSE Printing Utilities

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSE ONLY

SECTION 26 T.1S. R.10W. W.M.
TILLAMOOK COUNTY

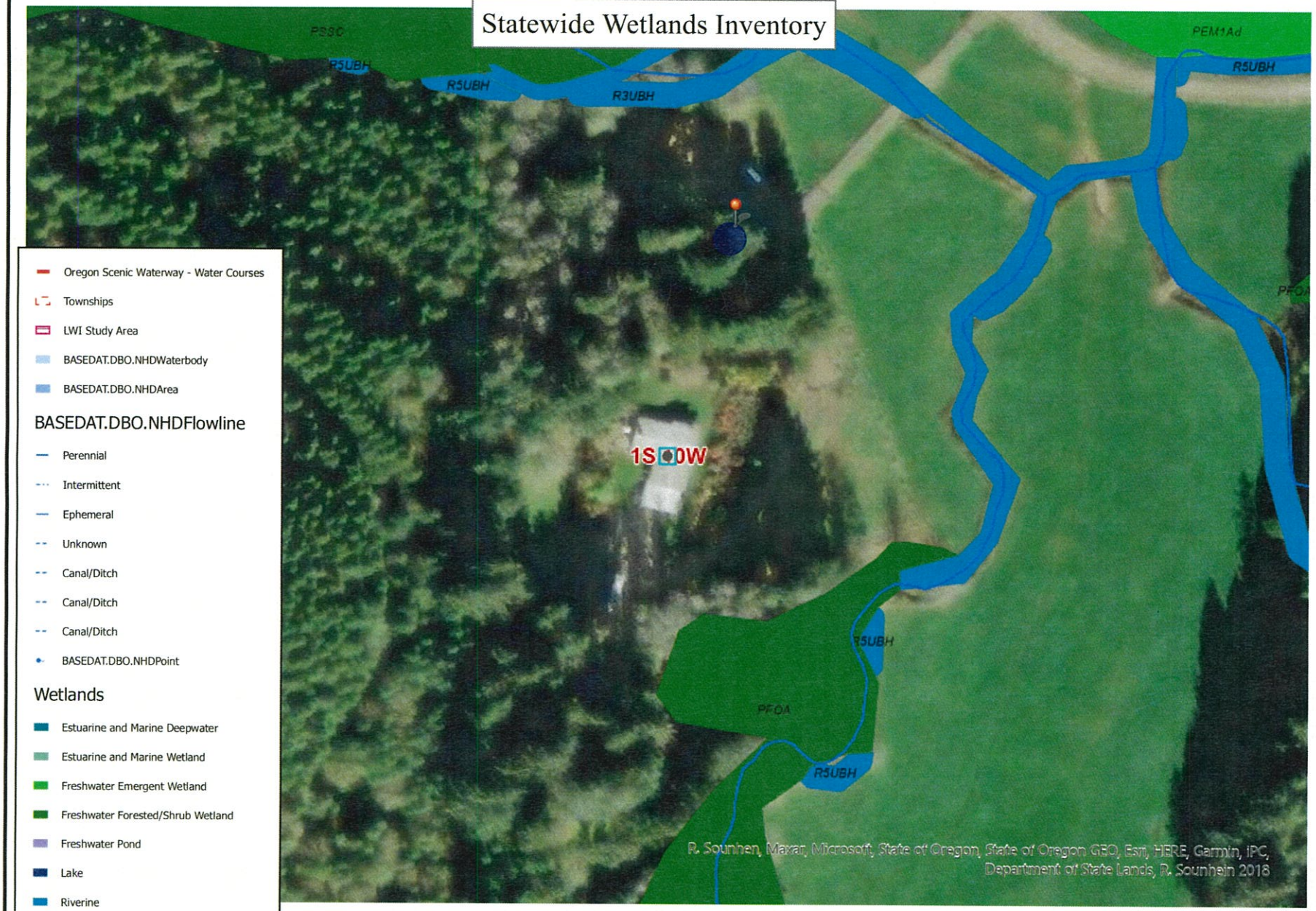
01S10W26




01S10W26

Revised 4/01/24, WS

# Statewide Wetlands Inventory




- Oregon Scenic Waterway - Water Courses
- Townships
- LWI Study Area
- BASEDAT.DBO.NHDWaterbody
- BASEDAT.DBO.NHDArea

## BASEDAT.DBO.NHDFlowline

- Perennial
- Intermittent
- Ephemeral
- Unknown
- Canal/Ditch
- Canal/Ditch
- Canal/Ditch
- BASEDAT.DBO.NHDPoint

## Wetlands

- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Riverine
- SWI Agate-Winlo Soils
- SWI Predominantly Hydric Soil Map Units

https://www.oregon.gov/dsl/WW/Pages/SWI.aspx

1:2,257

0 0.01 0.03 0.05 0.08 0.1 mi

The Statewide Wetlands Inventory (SWI) represents the best data available at the time this map was published and is updated as new data becomes available. In all cases, actual field conditions determine the presence, absence and boundaries of wetlands and waters (such as creeks and ponds). An onsite investigation by a wetland professional can verify actual field conditions.

N

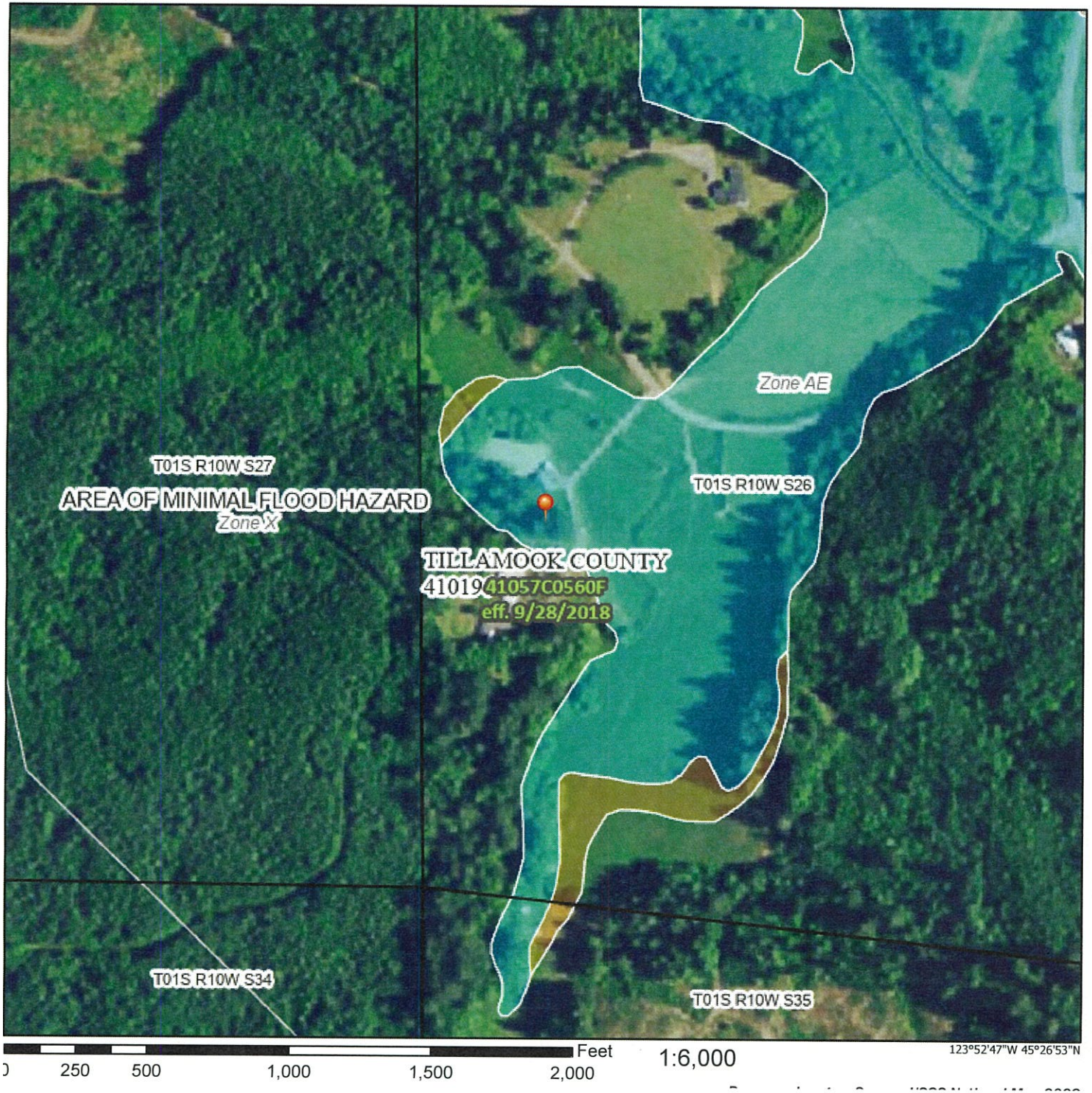
Date: 3/14/2025

State of Oregon
Department of State Lands
775 Summer Street, NE, Ste 100
Salem, OR. 97301-1279

# National Flood Hazard Layer FIRMette

FEMA

123°53'25"W 45°27'18"N




## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

**SPECIAL FLOOD HAZARD AREAS**
- Without Base Flood Elevation (BFE) *Zone A, V, A99*
- With BFE or Depth *Zone AE, AO, AH, VE, AR*
- Regulatory Floodway

**OTHER AREAS OF FLOOD HAZARD**
- 0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile *Zone X*
- Future Conditions 1% Annual Chance Flood Hazard *Zone X*
- Area with Reduced Flood Risk due to Levee. See Notes. *Zone X*
- Area with Flood Risk due to Levee *Zone D*

**OTHER AREAS**
- NO SCREEN — Area of Minimal Flood Hazard *Zone X*
- Effective LOMRs
- Area of Undetermined Flood Hazard *Zone*

**GENERAL STRUCTURES**
- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

**OTHER FEATURES**
- 20.2 — Cross Sections with 1% Annual Chance
- 17.5 — Water Surface Elevation
- Coastal Transect
- 513 — Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

**MAP PANELS**
- Digital Data Available
- No Digital Data Available
- Unmapped

N

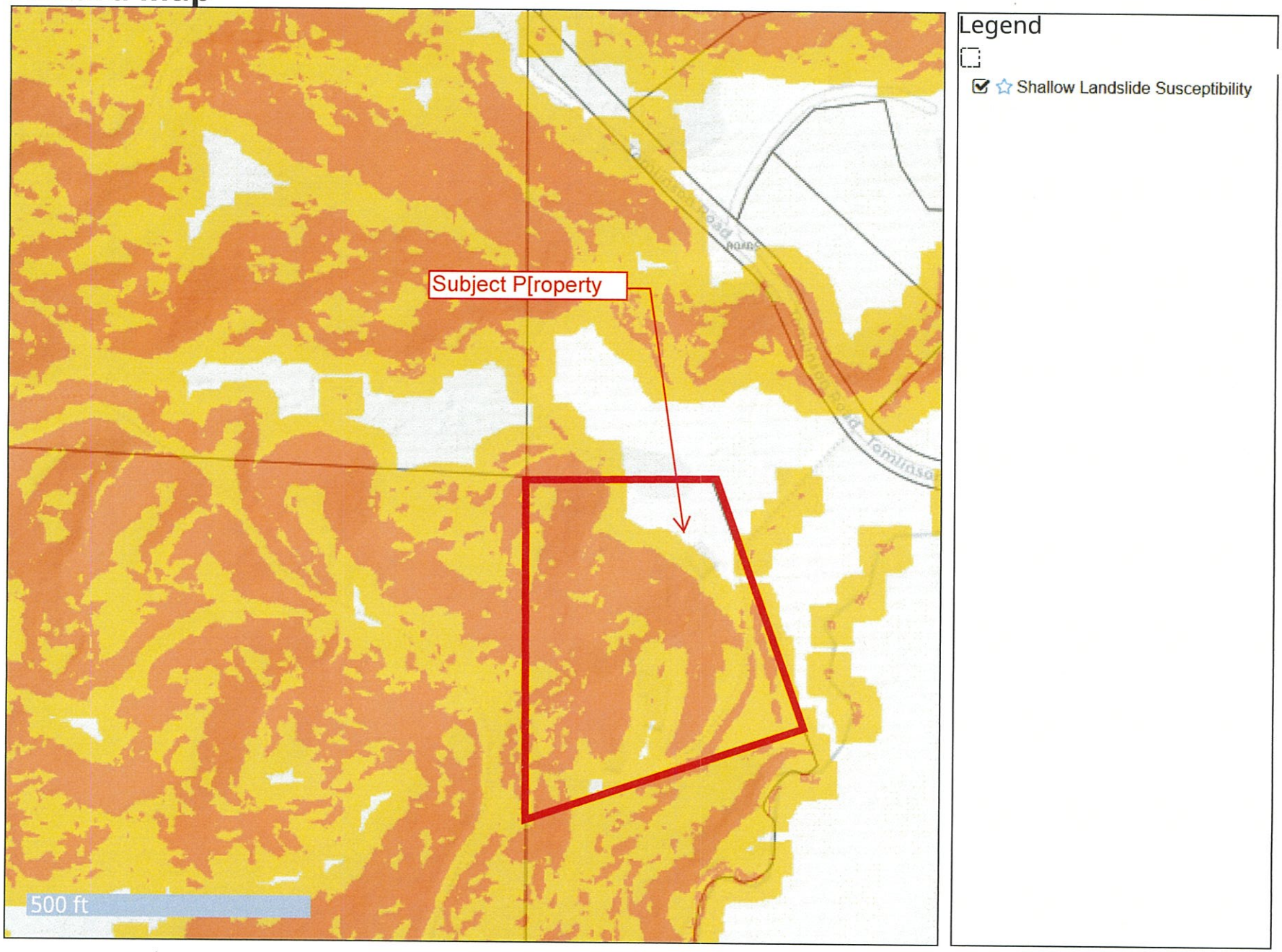
The pin displayed on the map is an approximate point selected by the user and does not represe an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 3/14/2025 at 8:40 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

# Hazard Map




Printed on 3 / 14 / 2025

# EXHIBIT B

Tillamook County Department of Community Development
*1510-B Third Street. Tillamook, OR 97141 | Tel: 503-842-3408 Fax: 503-842-1819*
*www.co.tillamook.or.us*

# PLANNING APPLICATION

**OFFICE USE ONLY**

Date Stamp: RECEIVED OCT 31 20.. BY: Counter

☐Approved ☐Denied

Received by: MT

Receipt #: 79902

Fees: 1300 + 51.

Permit No: 851-24-000551-PLNG

**Applicant** ☐ *(Check Box if Same as Property Owner)*

Name: Grant Rocha Phone:

Address: 505 Tomlinson Rd

City: Tillamook State: OR Zip: 97141

Email:

**Property Owner**

Name: Britt Sherer Phone: 503 812 0714

Address: 505 Tomlinson Rd

City: Tillamook State: OR Zip: 97141

Email: sherer505@gmail.com

Request: Barn

| Type II | Type III | Type IV |
|---|---|---|
| ☐ Farm/Forest Review | ☐ Detailed Hazard Report | ☐ Ordinance Amendment |
| ☐ Conditional Use Review | ☐ Conditional Use (As deemed by Director) | ☐ Large-Scale Zoning Map Amendment |
| ☒ Variance | ☐ Ordinance Amendment | ☐ Plan and/or Code Text Amendment |
| ☐ Exception to Resource or Riparian Setback | ☐ Map Amendment | |
| ☐ Nonconforming Review (Major or Minor) | ☐ Goal Exception | |
| ☐ Development Permit Review for Estuary Development | ☐ Nonconforming Review (As deemed by Director) | |
| ☐ Non-farm dwelling in Farm Zone | ☐ Variance (As deemed by Director) | |
| ☐ Foredune Grading Permit Review | | |
| ☐ Neskowin Coastal Hazards Area | | |

**Location:**

Site Address: 505 Tomlinson Road Tillamook, OR 97141

Map Number:

Township Range Section Tax Lot(s)

Clerk's Instrument #: _____

**Authorization**

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.

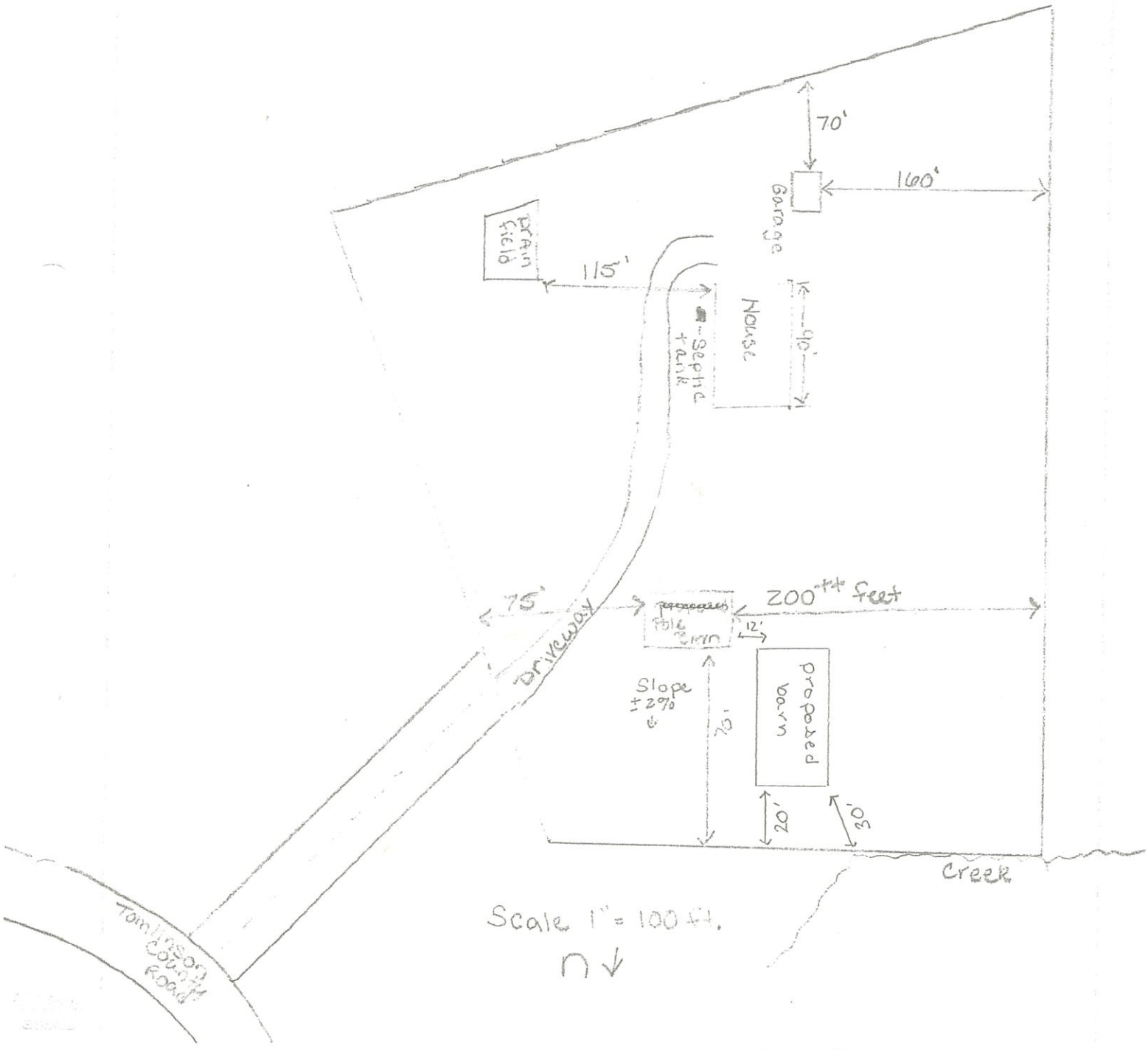
Britt Sherer — Property Owner Signature (Required) — Date: 8/11/24

Applicant Signature — Date: 8/11/24

Brett + Kristi Sherer

Section 26 Range 10 west Township 1 South

1S10 26 01600



**3.510(15)(c): Variances to the standards contained in Section 3.510 shall be issued only in accordance with the following criteria:**

*(1) Generally, the only condition under which a variance from the elevation standard may be issued is for new construction and substantial improvements to be erected on a lot of one-half acre or less in size contiguous to and surrounded by lots with existing structures constructed below the base flood level, providing the items in subsection (15)(c)(2) have been fully considered. As the lot size increases the technical justification required for issuing the variance increases.*

*(2) The following items shall be considered in review of variance applications:*

*(i) The danger that materials may be swept onto other lands to the injury of others;*

**Finding:** Engineered plans to fasten building to foundation.

*(ii) The danger to life and property due to flooding or erosion damage;*

**Finding:** Low damage risk as to being used as an ag-use building only, no other neighboring buildings in flood zone

*(iii) The susceptibility of the proposed facility and its contents to flood damage and the effect of such damage on the individual owner;*

**Finding:** Any items to be stored with value, will be easily able to be moved as needed.

*(iv) The importance of the services provided by the proposed facility to the community;*

**Finding:** Facility is needed for continued use of ag operations

*(v) The necessity to the facility of a waterfront location, where applicable;*

**Finding:** Not a water front facility

*(vi) The availability of alternative locations for the proposed use which are not subject to flooding or erosion damage;*

**Finding:** While there is an upland location, the locations are not accessable due to terrain for what will be stored in the building

*(vii) The compatibility of the proposed use with existing and anticipated development;* Land is currently used for ag use and the building will also be used for ag.

**Finding:**

*(viii) The relationship of the proposed use to the comprehensive plan and flood plain management program for that area;*

**Finding:** The property is zoned for ag and this building will help to continued ~~[illegible]~~ use of ag

*(ix) The safety of access to the property in times of flood for ordinary and emergency vehicles;*

**Finding:** Bulding will be easily accesable from the existing improved driveway

*(x) The expected heights, velocity, duration, rate of rise, and sediment transport of the flood waters and the effects of wave action, if applicable, expected at the site; and,*

**Finding:** No wave action

*(xi) The costs of providing governmental services during and after flood conditions, including maintenance and repair of public utilities and facilities such as sewer, gas, electrical, and water systems, and streets and bridges.*

**Finding:** Building will not need governmental services as there will not be utilities. USED for storage primarily

*(3) Variances may be issued for the reconstruction, rehabilitation, or restoration of structures listed on the National Register of Historic Places or the Statewide Inventory of Historic Properties, without regard to the procedures set forth in this section.*

*(4) Variances shall not be issued within a designated floodway if any increase in flood levels during the base flood discharge would result.*

*(5) Variances shall only be issued upon a determination that the variance is the minimum necessary, considering the flood hazard, to afford relief.*

**Finding:**

*(6) Variances shall be issued only upon:*

*(i) A showing of good and sufficient cause;*

**Finding:** Building will be used to support ~~agric~~ agricultural uses on the property. It is the best location for building as the upland location is not accessable for the items being stored.

*(ii) A determination that failure to grant the variance would result in exceptional hardship to the applicant;*

**Finding:** In order to continue Ag operations, we have to be able to have a dry, secure building to protect all of the things we need for everyday use as an ag operation.

*(iii) A determination that the granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, create nuisances, cause fraud on or victimization of the public as identified in subsection (15)(c)(2), or conflict with existing local laws or ordinances.*

**Finding:** See prior responses to (15)(c)(2)

*(7) Variances as interpreted in the National Flood Insurance Program are based on the general zoning law principle that they pertain to a physical piece of property; they are not personal in nature and do not pertain to the structure, its inhabitants, economic or financial circumstances. They primarily address small lots in densely populated residential neighborhoods. As such, variances from the flood elevations should be quite rare.*

*(8) Variances may be issued for nonresidential buildings in very limited circumstances to allow a lesser degree of floodproofing than watertight or dry-floodproofing, where it can be determined that such action will have low damage potential, complies with all other variance criteria except subsection (15)(c)(1), and otherwise complies with general standards in Section 3.510(5).*

**Finding:** Ag buildings and its contents will have a low damage potential.

*(9) Any applicant to whom a variance is granted shall be given written notice that the structure will be permitted to be built with a lowest floor elevation below the base flood elevation and that the cost of flood insurance will be commensurate with the increased risk resulting from the reduced lowest floor elevation.*

# OLYMPIA STEEL BUILDINGS

## BUILDING SPECIFICATIONS

The manufacturer is not responsible for the concrete foundation design. The structure under this contract has been designed and detailed for the loads and conditions stipulated in the contract and shown on these drawings. Any alterations to the structural system or removal of any component parts, or the addition of other construction materials or loads must be done under the advice and direction of a registered architect, civil or structural engineer. The manufacturer will assume no responsibility for any loads not indicated.

This manufactured building is designed with the manufacturer's standard design practices which are based on pertinent procedures and recommendations of the following organizations and codes :

- –American Institute of Steel Construction "Specification for the design fabrication and erection of structural steel for buildings.".
- –American Iron and Steel Institute "Specification for the design of cold formed steel structural members".
- –Metal Building Manufacturers Association "Specification for the design fabrication and erection of the structural system" most current edition.

Material properties of steel plate and sheet used in fabrication of primary rigid frames and all primary structural framing members (other than cold–formed sections) conform to ASTM A–529 or A–572 all with a minimum yield point of 55 KSI.

Material properties of cold formed light gage steel members conform to the requirements of ASTM A–653, with a minimum yield point of 55 KSI

High strength bolts and their installation shall conform to ASTM specification A–325 and are designed as bearing type connections with threads included in the shear plane. All high strength bolts are to be installed to the "Snug–Tight" condition as defined by the RCSC Specification for Structural Joints Using A325 or A490 Bolts, Latest Edtion, section 8.1, unless noted otherwise. Bolts in standard holes do not require washers per section 6.

Shop and field inspections and associated fees are the responsibility of the contractor, unless stipulated otherwise.

## CONTRACTOR RESPONSIBILITIES

The contractor must secure all required approvals and permits from the appropriate agency as required.

Approval of the manufacturer's drawings and calculations indicate that the manufacturer has correctly interpreted and applied the requirements of the contract drawings and specifications. (AISC 303–05 Code of Standard Practice)

Where discrepancies exist between the manufacturer's structural steel plans and the plans for other trades, the structural steel plans shall govern. (Section 3.3 AISC 303–05 Code of Standard Practice)

Design considerations of any materials in the structure which are not furnished by the manufacturer, are the responsibility of the contractor and engineers other than the manufacturer's engineering, unless specifically indicated.

The contractor is responsible for all erection of steel and associated work in compliance with the manufacturer's "For Construction" drawings.

Temporary supports, such as guys, braces, flashwork or other elements required for the erection will be determined and furnished and installed by the erector. (Section 7 AISC 303–05 Code of Standard Practice)

It is the contractors responsibility to apply or observe all pertinent safety rules and regulations, as per OSHA standards as applicable.

The Contractor is responsible for the verification of all shipments received. Any "external" damage or shortages must be noted on all copies of the bill of lading and one copy is to be retained for your records. Failure to do so will make it impossible for the factory to honor any claim. NO EXCEPTIONS!!!

## DESIGN LOADING

This structure is designed utilizing the loads indicated and applied by the : OSSC 2022 (IBC 21)

It is the contractor's responsibility to confirm that these loads comply with the requirements of the local building department.

Specific loads : (See structural calculations and foundation reactions.)

| | |
|---|---|
| 20.00 | PSF Live Load |
| No | LL Reduction Allowed |
| 25 | PSF Ground Snow Load |
| 1.00 | Thermal Factor (Ct) |
| 1 | Snow Exposure Factor (Ce) |
| 120 | MPH Wind Load Exposure C |
| 2.00 | PSF Dead Load (Metal Bldg. Weight – Purlins, Panels, Etc.) |
| 1.00 | PSF Collateral Load (Ceilings, Sprinklers, Etc.) |

II – Normal Occupancy Category ( $I_w$= 1.00 $I_s$= 1.0000 $I_e$= 1.00 )

SEISMIC DATA :

1) Mapped Spectral Acceleration for Short Period, Ss 1.18
2) Site Coefficient, Fa 1.2000
3) Seismic Design Category = D
4) Seismic Coefficient = 0.95
5) Site Class = D
6) Basic Structural System and Seismic Resisting System Ordinary Moment Frame of Steel
7) Frames: R = 2.5000
8) Analysis Procedure = Equivalent Lateral Force

## DRAWING INDEX



**These Drawings are for :**

☒ Construction ☐ Approval *
☐ Permit ☐ Anchor Bolts & Reactions

* Approval orders must be released for fabrication within thirty (30) calendar days after the submittal drawings are issued or they will be subject to any current price increases. Special attention should be given in approving dimensions and/or details. Please verify requested dimensions by indicating 'OK'.

FBC product approval numbers: FL19604 & FL19606

**Engineering Seal**

This certification covers parts manufactured and delivered by the manufacturer only, and excludes parts such as doors, windows, foundation design and erection of the building. The buyer is responsible for ensuring all specified loads are in compliance with regulatory authorities.

REGISTERED PROFESSIONAL ENGINEER
62618PE
OREGON
ORIGINAL DATE OF REG 11-08-18
MINGQIAO ZHU
EXPIRES: 06/30/2026
08/29/2024
Mingqiao Zhu, PE / P.Eng
1428 N Shevlin Court
Sewickley, PA 15143

| | |
|---|---|
| DSN: MQZ | DWN: MO |
| DET: SR | CHK: MN |

REV:

REVISIONS

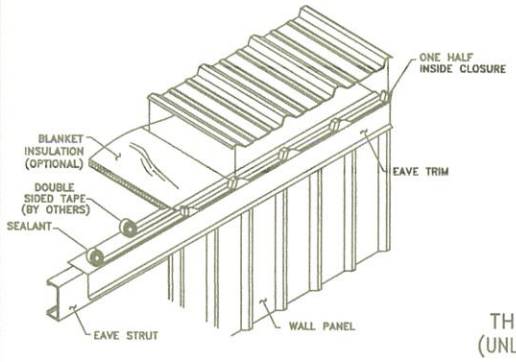
| NO. | DATE |
|---|---|
| | |
| | |
| | |
| | |
| | |
| | |
| | |

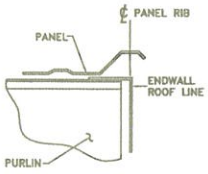
DRAWINGS COVER SHEET

CUSTOMER :
GRANT ROCHA
505 TOMLINSON RD, TILLAMOOK/OR/97141
COUNTY : TILLAMOOK COUNTY

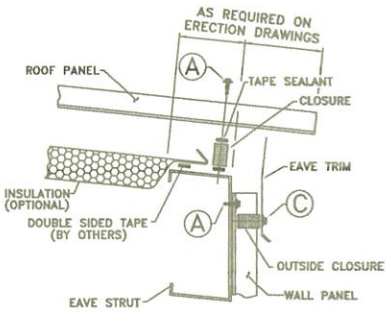
OLYMPIA STEEL BUILDINGS
400 ISLAND AVE
MCKEES ROCKS PA 15136

| SCALE: | DATE: | JOB NO: | SHT. NO: |
|---|---|---|---|
| NOT TO SCALE | 8/19/24 | 012068 | CS–1 |



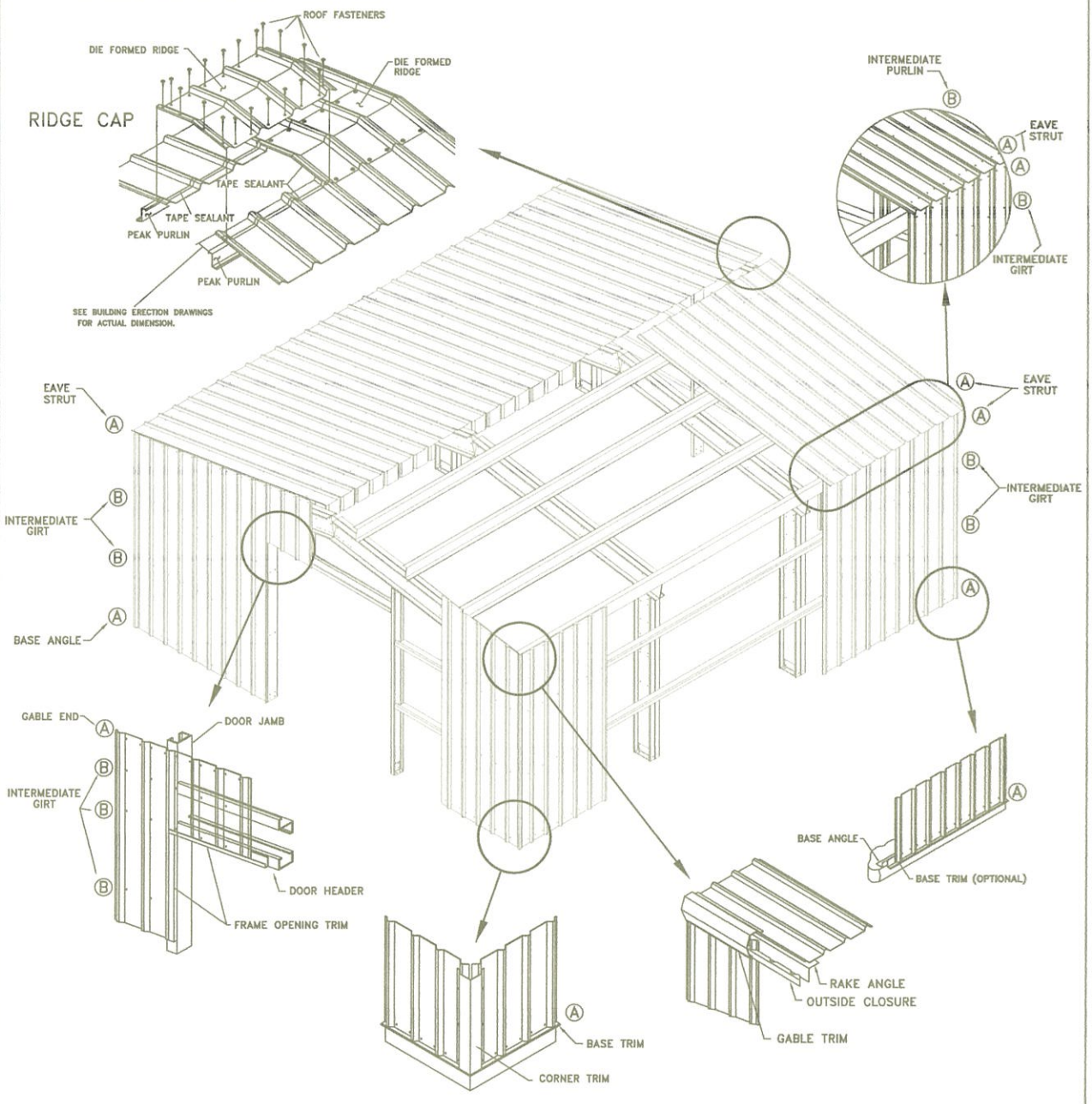




INSTALLATION OF
THE FIRST ROOF PANEL
(UNLESS NOTED ON DRAWINGS)




SECTION AT EAVE

# FASTENER SCHEDULE




**DETAIL: A**


Ⓐ FASTENER PATTERN
AT BASE ANGLE, EAVE STRUT, RIDGE CAP
& INTERMEDIATE PANEL LAPS

**DETAIL: B**


Ⓑ FASTENER PATTERN
AT INTERMEDIATE PURLIN OR GIRT OR LINER PANEL

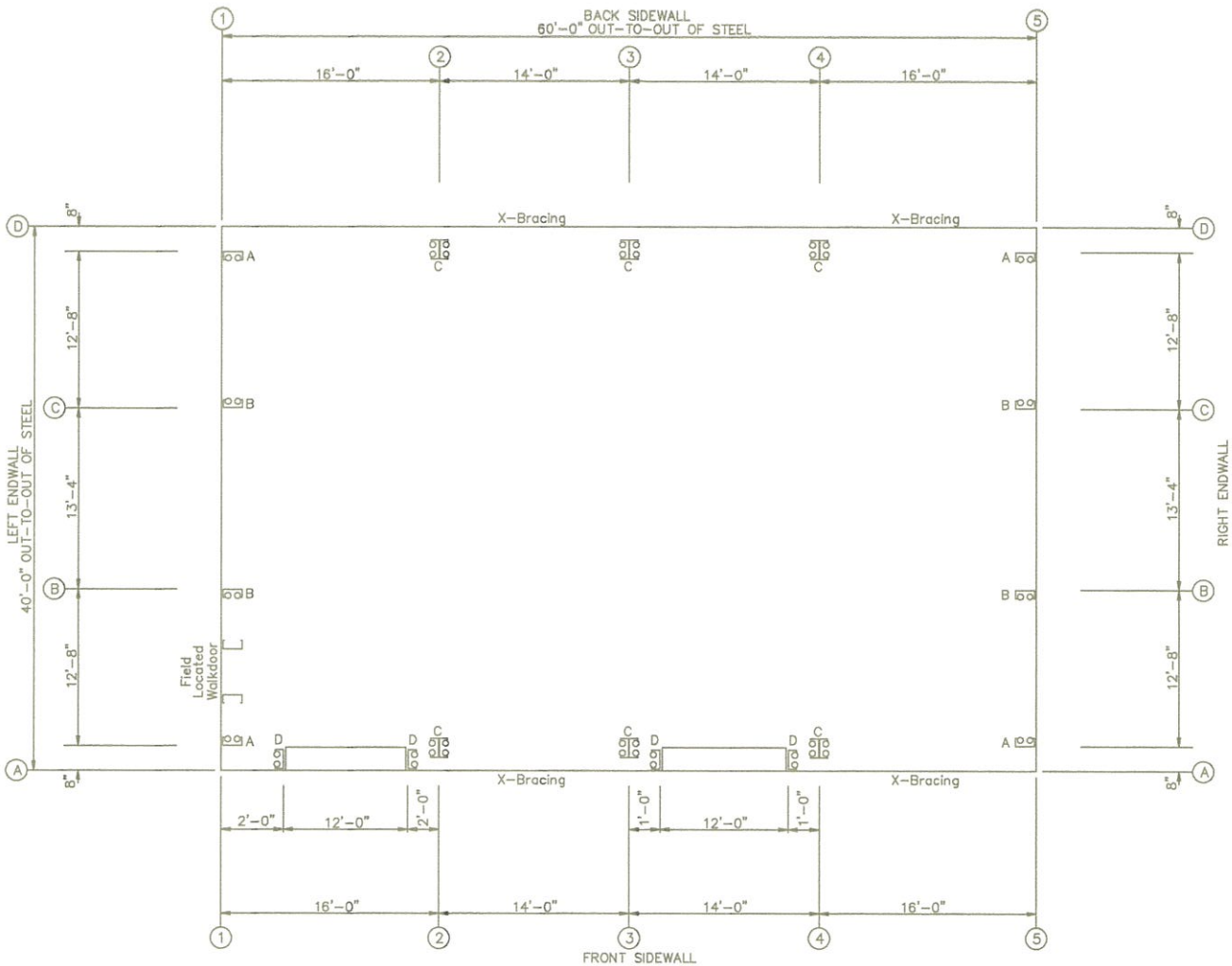
**DETAIL: C**

Ⓒ STITCH FASTENER
#14x7/8"
12" ON CENTER

DATE: 8/19/24

DWG NO: CS-2W

o Dia= 1/2"




ANCHOR BOLT PLAN

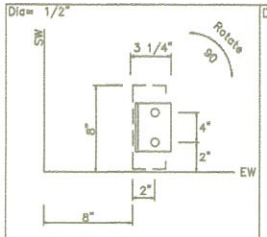
NOTE: All Base Plates @ 100'-0" (U.N.)

REGISTERED PROFESSIONAL ENGINEER
62618PE
OREGON
ORIGINAL DATE OF REG 11-08-19
MINGQIAO ZHU

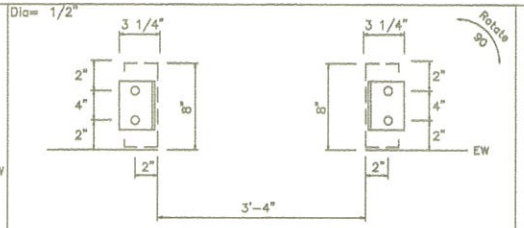
EXPIRES: 06/30/2026

08/29/2024

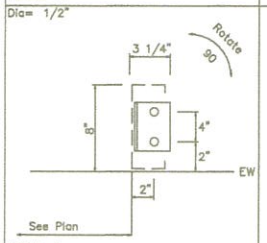
| | | | |
|---|---|---|---|
| OLYMPIA STEEL BUILDINGS | | Customer: GRANT ROCHA | |
| MCKEES ROCKS PA 15136 | | TILLAMOOK/OR/97141 | |
| Drafter: MO | Date: 8/19/24 | Designer: MQZ | Date: 8/19/24 |
| Detailer: SR | Date: 8/19/24 | Sales ID: | Factory ID: 012068 |
| Checker: MN | Date: 8/19/24 | | |
| ANCHOR BOLT PLAN | | | Sht E1 of 11 |



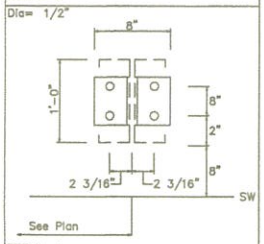

DETAIL A



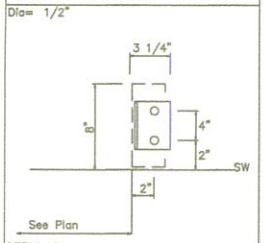

DETAIL OF FIELD LOCATED WALKDOOR




DETAIL B




DETAIL C




DETAIL D

## LOAD CASES

WIND_L1 = WIND LOAD FROM LEFT CASE 1
WIND_R1 = WIND LOAD FROM RIGHT CASE 1
WIND_LN1 = LONGITUDINAL WIND CASE 1

SEISMIC_L = SEISMIC LOAD FROM LEFT
SEISMIC_R = SEISMIC LOAD FROM RIGHT
SEISMICLN = LONGITUDINAL SEIMIC LOAD

F1UNB_SL_L = FRAME 1 UNBALANCED SNOW LEFT SIDE
F1UNB_SL_R = FRAME 1 UNBALANCED SNOW RIGHT SIDE
F1CRANE 1 = FRAME 1 CRANE LOAD IN POSITION 1

DRIFT = SNOW DRIFT LOAD
SLIDE = SLIDE SNOW LOAD

## NOTES FOR REACTIONS

Building reactions are based on the following building data:

| | | |
|---|---|---|
| Width (ft) | = | 40 |
| Length (ft) | = | 60 |
| Eave Height (ft) | = | 14 / 14 |
| Roof Slope | = | 2.0:12 / 2.0:12 |
| Dead Load (psf) | = | 2.00 |
| Collateral Load (psf) | = | 1.00 |
| Roof Live Load (psf) | = | 20.00 |
| Roof Snow Load (psf) | = | 25.00 |
| Wind Speed(mph) | = | 120 |
| Wind Code | = | OSSC 2022 (IBC 21) |
| Wind Exposure | = | C |
| Closed/Open | = | Enclosed |
| Importance - Wind | = | 1.00 |
| Importance - Seismic | = | 1.00 |
| Seismic Design Category | = | D |
| Seismic Coeff (Fa*Sa) | = | 1.422 |

Load Combinations

DL+CL+(LL or SL)
DL+CL+WL
DL+CL+0.75WL+0.75(LL or SL)
DL+0.75(0.7SEIS)+0.75(LL or SL)
0.6DL+WL
0.6DL+0.7SEIS

## GENERAL NOTES

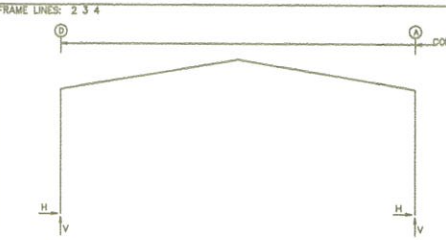
1. FOUNDATION DESIGN AND CONSTRUCTION ARE NOT THE RESPONSIBILITY OF THE BUILDING MANUFACTURER.
2. THE BUILDING REACTION DATA, REPORTS THE LOADS WHICH THIS BUILDING PLACES ON THE FOUNDATION.
3. THE SPECIFIED ANCHOR BOLT DIAMETER ASSUMES ASTM A307. ANCHOR BOLT MATERIAL OF EQUAL DIAMETER MEETING OR EXCEEDING THE STRENGTH REQUIREMENTS SET FORTH ON THESE DRAWINGS MAY BE UTILIZED AT THE DISCRETION OF THE FOUNDATION DESIGN ENGINEER.
4. ANCHOR BOLTS TO BE SUPPLIED BY OTHERS. ANCHOR BOLT EMBEDMENT LENGHT SHALL BE DETERMINED BY THE FOUNDATION ENGINEER.
5. ANCHOR BOLT PROJECTION ABOVE CONCRETE FINISHED SURFACE TO BE 3" UNLESS OTHERWISE NOTED BY FOUNDATION DESIGNER.
6. ANCHOR BOLTS SHALL BE ACCURATELY SET TO A TOLERANCE OF +/- 1/8" IN ELEVATION AND LOCATION.
7. THE ANCHOR BOLT LOCATIONS PROVIDED BY THE METAL BUILDING MANUFACTURER MAY NOT SATISFY ANCHOR BOLT CONCRETE EDGE DISTANCE REQUIREMENTS DEPENDING ON THE DETAILS OF FOUNDATION DESIGN. IT IS THE RESPONSIBILITY OF THE FOUNDATION DESIGN ENGINEER TO MAKE SURE THAT SUFFICIENT CONCRETE EDGE DISTANCE IS PROVIDED IN THE FOUNDATION DESIGN.
8. MINOR FIELD WORK OF STRUCTURAL, SECONDARY AND PANEL/TRIM ITEMS MAY BE NECESSARY TO ENSURE PROPER FIT. SUCH WORK IS CONSIDERED A NORMAL PART OF METAL BUILDING ERECTION. WE WILL NOT HONOR BACKCHARGES FOR MINOR FIELD WORK.
9. THIS DRAWING IS NOT TO SCALE.

## BUILDING BRACING REACTIONS

| Wall Loc | Col Line | ± Reactions(k) Wind Horz | Wind Vert | Seismic Horz | Seismic Vert | Panel Shear (lb/ft) Wind | Seis |
|---|---|---|---|---|---|---|---|
| L_EW 1 | | | | | | 35 | 60 |
| F_SW A | 2,3 | 1.6 | 1.4 | 3.3 | 2.9 | | |
| | 4,5 | 1.6 | 1.2 | 3.3 | 2.5 | | |
| R_EW 5 | | | | | | 32 | 55 |
| B_SW D | 5,4 | 1.6 | 1.2 | 3.3 | 2.5 | | |
| | 3,2 | 1.6 | 1.4 | 3.3 | 2.9 | | |

Reactions for seismic represent shear force, Eh
Reaction values shown are unfactored

FRAME LINES: 2 3 4




## RIGID FRAME: ANCHOR BOLTS & BASE PLATES

| Frm Line | Col Line | Anc Bolt Qty | Dia | Base Plate (in) Width | Length | Thick | Grout (in) |
|---|---|---|---|---|---|---|---|
| 2* | D | 4 | 0.500 | 8.000 | 9.000 | 0.250 | 0.0 |
| 2* | A | 4 | 0.500 | 8.000 | 9.000 | 0.250 | 0.0 |

2* Frame lines: 2 3 4

## RIGID FRAME: BASIC COLUMN REACTIONS (k)

| Frame Line | Column Line | Dead Horz | Dead Vert | Collateral Horz | Collateral Vert | Live Horz | Live Vert | Snow Horz | Snow Vert | Wind_Left1 Horz | Wind_Left1 Vert | Wind_Right1 Horz | Wind_Right1 Vert |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 2* | D | 0.3 | 1.1 | 0.1 | 0.3 | 2.1 | 6.0 | 2.7 | 7.5 | -3.6 | -7.0 | 0.3 | -4.5 |
| 2* | A | -0.3 | 1.1 | -0.1 | 0.3 | -2.1 | 6.0 | -2.7 | 7.5 | -0.3 | -4.5 | 3.6 | -7.0 |

| Frame Line | Column Line | Wind_Left2 Horz | Wind_Left2 Vert | Wind_Right2 Horz | Wind_Right2 Vert | Wind_Long1 Horz | Wind_Long1 Vert | Wind_Long2 Horz | Wind_Long2 Vert | Seismic_Left Horz | Seismic_Left Vert | Seismic_Right Horz | Seismic_Right Vert |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 2* | D | -3.6 | -4.1 | 0.3 | -1.8 | 0.0 | -7.5 | -0.4 | -6.5 | -1.0 | -0.7 | 1.0 | 0.7 |
| 2* | A | -0.3 | -1.8 | 3.6 | -4.1 | 0.4 | -6.5 | 0.0 | -7.5 | -1.0 | 0.7 | 1.0 | -0.7 |

| Frame Line | Column Line | Seismic_Long Horz | Seismic_Long Vert | MIN_SNOW Horz | MIN_SNOW Vert | F1UNB_SL_L Horz | F1UNB_SL_L Vert | F1UNB_SL_R Horz | F1UNB_SL_R Vert |
|---|---|---|---|---|---|---|---|---|---|
| 2* | D | 0.0 | -2.9 | 2.1 | 6.0 | 2.1 | 7.0 | 2.1 | 4.0 |
| 2* | A | 0.0 | -2.9 | -2.1 | 6.0 | -2.1 | 4.0 | -2.1 | 7.0 |

2* Frame lines: 2 3 4

## ENDWALL COLUMN: BASIC COLUMN REACTIONS (k)

| Frm Line | Col Line | Dead Vert | Collat Vert | Live Vert | Snow Vert | Wind Left1 Vert | Wind Right1 Vert | Wind Left2 Vert | Wind Right2 Vert | Wind Press Horz | Wind Suct Horz | Wind Long1 Vert | Wind Long2 Vert |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 1 | D | 0.1 | 0.0 | 0.8 | 1.0 | -1.2 | -0.7 | -0.7 | -0.2 | -1.0 | 1.2 | -1.6 | -1.0 |
| 1 | C | 0.4 | 0.1 | 2.4 | 3.0 | -3.7 | -2.4 | -2.7 | -1.4 | -2.2 | 2.4 | -3.4 | -2.0 |
| 1 | B | 0.4 | 0.1 | 2.4 | 3.0 | -2.4 | -3.7 | -1.4 | -2.7 | -2.2 | 2.4 | -2.0 | -3.4 |
| 1 | A | 0.1 | 0.0 | 0.8 | 1.0 | -0.7 | -1.2 | -0.2 | -0.7 | -1.0 | 1.2 | -1.0 | -1.6 |

| Frm Line | Col Line | Seis Left Vert | Seis Right Vert | Seis Long Horz | MIN_SNOW Horz | MIN_SNOW Vert | E1UNB_SL_L Horz | E1UNB_SL_L Vert | E1UNB_SL_R Horz | E1UNB_SL_R Vert |
|---|---|---|---|---|---|---|---|---|---|---|
| 1 | D | 0.1 | 0.4 | 0.1 | 0.0 | 0.8 | 0.0 | 1.0 | 0.0 | 0.2 |
| 1 | C | -0.2 | -0.4 | 0.2 | 0.0 | 2.4 | 0.0 | 3.6 | 0.0 | 1.2 |
| 1 | B | -0.4 | -0.2 | 0.2 | 0.0 | 2.4 | 0.0 | 1.2 | 0.0 | 3.6 |
| 1 | A | 0.4 | 0.1 | 0.1 | 0.0 | 0.8 | 0.0 | 0.2 | 0.0 | 1.0 |

| Frm Line | Col Line | Dead Vert | Collat Vert | Live Vert | Snow Vert | Wind Left1 Vert | Wind Right1 Vert | Wind Left2 Vert | Wind Right2 Vert | Wind_Press Horz | Wind_Press Vert | Wind_Suct Horz | Wind_Suct Vert |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 5 | A | 0.1 | 0.0 | 0.8 | 1.0 | -1.2 | -0.7 | -0.7 | -0.2 | -2.8 | -1.2 | 1.2 | 1.2 |
| 5 | B | 0.4 | 0.1 | 2.4 | 3.0 | -3.7 | -2.4 | -2.7 | -1.4 | -2.2 | 0.0 | 2.4 | 0.0 |
| 5 | C | 0.4 | 0.1 | 2.4 | 3.0 | -2.4 | -3.7 | -1.4 | -2.7 | -2.2 | 0.0 | 2.4 | 0.0 |
| 5 | D | 0.1 | 0.0 | 0.8 | 1.0 | -0.7 | -1.2 | -0.2 | -0.7 | -2.8 | -1.2 | 1.2 | 1.2 |

| Frm Line | Col Line | Wind Long1 Vert | Wind Long2 Vert | Seis Left Vert | Seis Right Vert | Seis_Long Horz | Seis_Long Vert | MIN_SNOW Horz | MIN_SNOW Vert | E2UNB_SL_L Horz | E2UNB_SL_L Vert | E2UNB_SL_R Horz | E2UNB_SL_R Vert |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 5 | A | -1.6 | -1.0 | 0.1 | 0.4 | -3.3 | -2.5 | 0.0 | 0.8 | 0.0 | 1.0 | 0.0 | 0.2 |
| 5 | B | -3.4 | -2.0 | -0.2 | -0.4 | 0.2 | 0.0 | 0.0 | 2.4 | 0.0 | 3.6 | 0.0 | 1.2 |
| 5 | C | -2.0 | -3.4 | -0.4 | -0.2 | 0.2 | 0.0 | 0.0 | 2.4 | 0.0 | 1.2 | 0.0 | 3.6 |
| 5 | D | -1.0 | -1.6 | 0.4 | 0.1 | -3.3 | -2.5 | 0.0 | 0.8 | 0.0 | 0.2 | 0.0 | 1.0 |

## ENDWALL COLUMN: ANCHOR BOLTS & BASE PLATES

| Frm Line | Col Line | Anc Bolt Qty | Dia | Base Plate (in) Width | Length | Thick | Grout (in) |
|---|---|---|---|---|---|---|---|
| 1 | D | 2 | 0.500 | 3.250 | 6.000 | 0.250 | 0.0 |
| 1 | C | 2 | 0.500 | 3.250 | 6.000 | 0.250 | 0.0 |
| 1 | B | 2 | 0.500 | 3.250 | 6.000 | 0.250 | 0.0 |
| 1 | A | 2 | 0.500 | 3.250 | 6.000 | 0.250 | 0.0 |
| 5 | A | 2 | 0.500 | 3.250 | 6.000 | 0.250 | 0.0 |
| 5 | B | 2 | 0.500 | 3.250 | 6.000 | 0.250 | 0.0 |
| 5 | C | 2 | 0.500 | 3.250 | 6.000 | 0.250 | 0.0 |
| 5 | D | 2 | 0.500 | 3.250 | 6.000 | 0.250 | 0.0 |


EXPIRES: 06/30/2026

08/29/2024

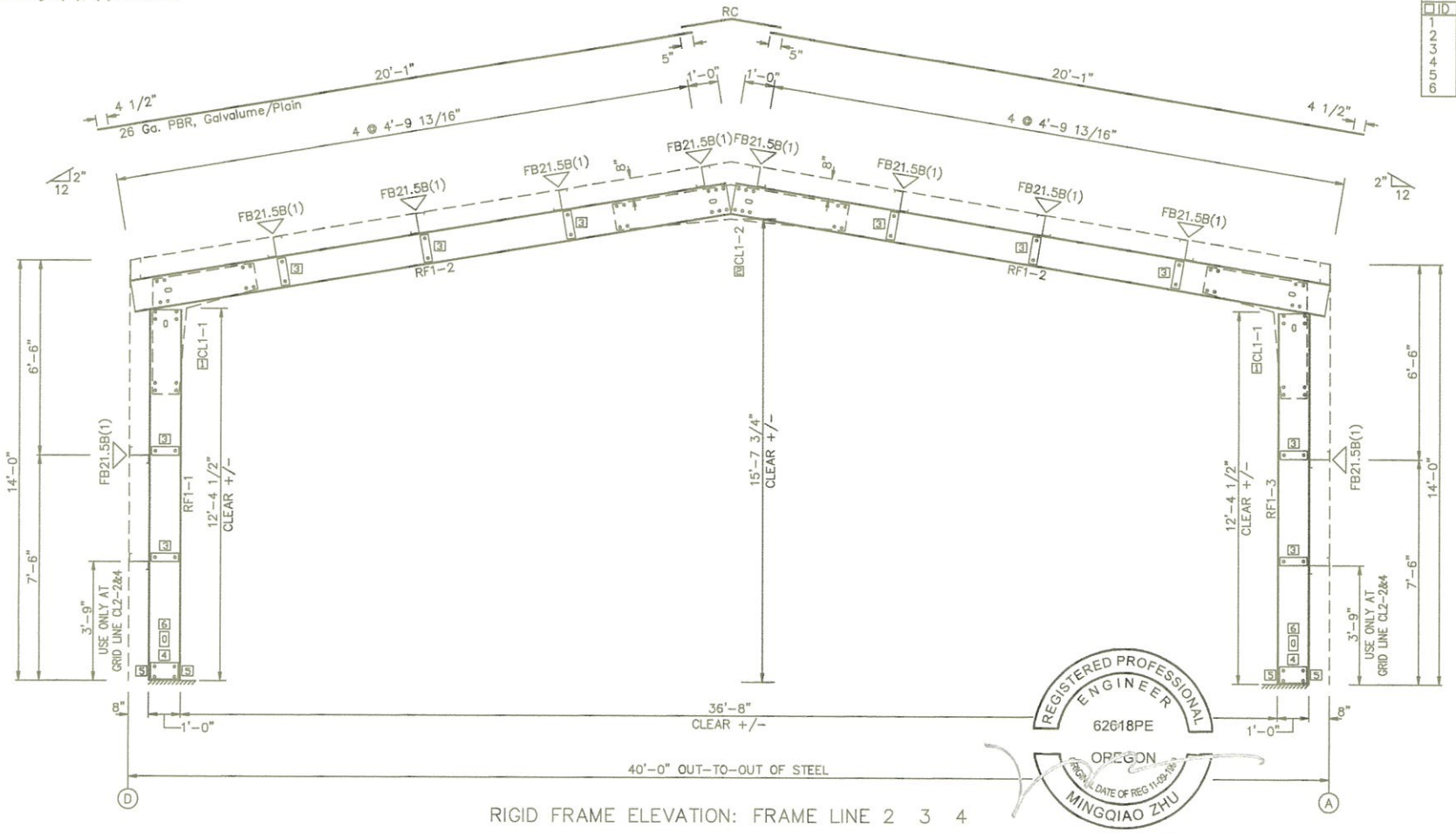
| | | | |
|---|---|---|---|
| OLYMPIA STEEL BUILDINGS | | Customer: GRANT ROCHA | |
| MCKEES ROCKS PA 15136 | | TILLAMOOK/OR/97141 | |
| Drafter: MO | Date: 8/19/24 | Designer: MQZ | Date: 8/19/24 |
| Detailer: SR | Date: 8/19/24 | Sales ID: | Factory ID: 012068 |
| Checker: MN | Date: 8/19/24 | | |
| ANCHOR BOLT DETAILS & REACTIONS | | | Sht E2 of 11 |

| SPLICE BOLT TABLE | | | | | | |
|---|---|---|---|---|---|---|
| Mark | Qty Top | Bot | Int | Type | Dia | Length |
| CL1-1 | 8 | 8 | 0 | A325 | 0.500 | 2.00 |
| CL1-2 | 10 | 10 | 0 | A325 | 0.500 | 2.00 |

▽FLANGE BRACES: Both Sides(U.N.)
FB21.5B(1): 21.5=length(in), (1)=one side
B - L2X2X10G

| MEMBER SIZE TABLE | | |
|---|---|---|
| MARK | MEMBER | LENGTH |
| RF1-1 | 12x55D10 | 12'-5 1/16" |
| RF1-2 | 12x75D12 | 20'-1 5/16" |
| RF1-3 | 12x55D10 | 12'-5 1/16" |

| CONNECTION PLATES | |
|---|---|
| ID | Mark/Part |
| 1 | CL1-1 |
| 2 | CL1-2 |
| 3 | CLC103 |
| 4 | CLC102 |
| 5 | CLC001 |
| 6 | CLC110 |




RIGID FRAME ELEVATION: FRAME LINE 2 3 4

REGISTERED PROFESSIONAL ENGINEER
62618PE
OREGON
ORIGINAL DATE OF REG 11-09-98
MINGQIAO ZHU
EXPIRES: 06/30/2026

08/29/2024

## GENERAL NOTES:

MINOR FIELD WORK OF STRUCTURAL, SECONDARY AND PANEL/TRIM ITEMS MAY BE NECESSARY TO ENSURE PROPER FIT. SUCH WORK IS CONSIDERED A NORMAL PART OF METAL BUILDING ERECTION. WE WILL NOT HONOR BACKCHARGES FOR MINOR FIELD WORK.

| | | | |
|---|---|---|---|
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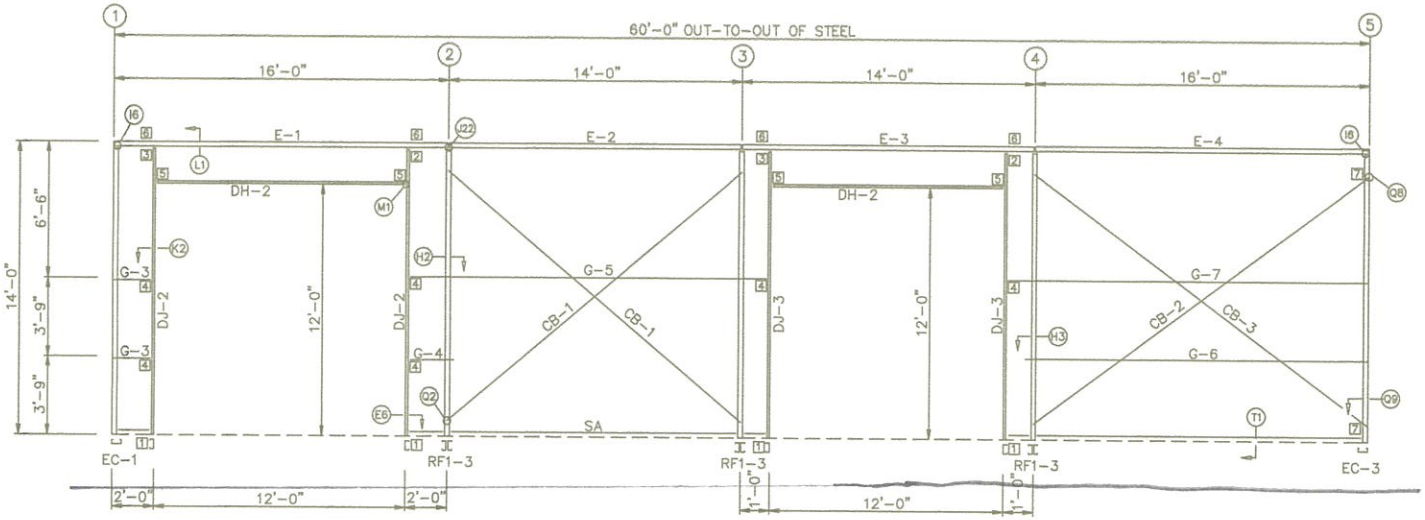
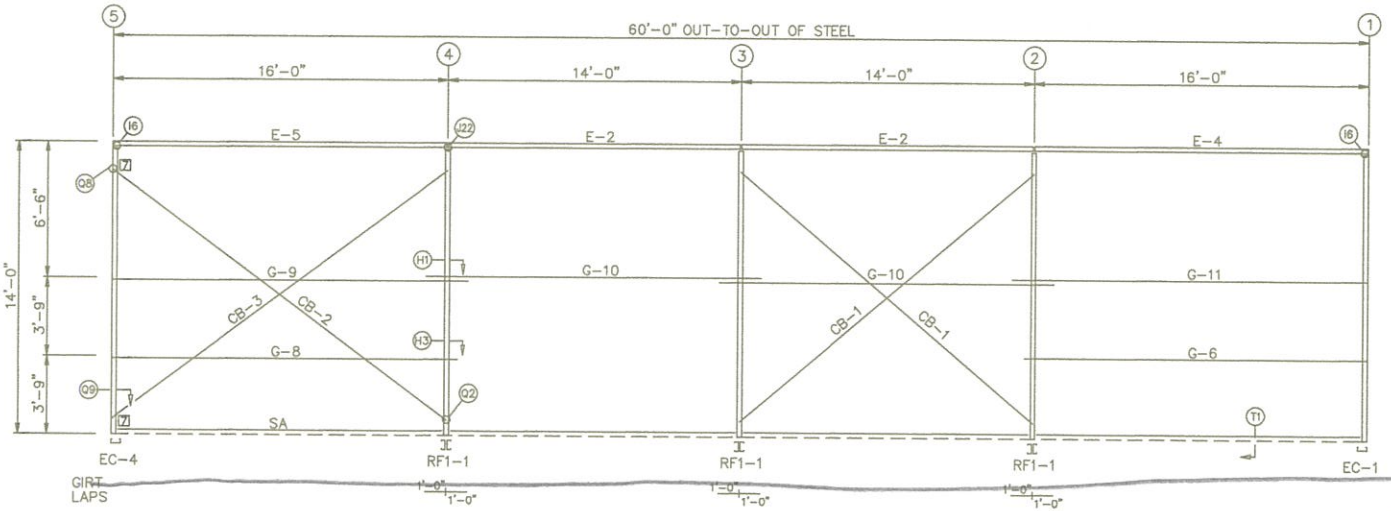
| Checker: MN | Date: 8/19/24 | | |
| RIGID FRAME ELEVATION | | | Sht E3 of 11 |




SIDEWALL FRAMING: FRAME LINE A




SIDEWALL FRAMING: FRAME LINE D

| MEMBER TABLE FRAME LINE A & D | | |
|---|---|---|
| MARK | PART | LENGTH |
| DJ-2 | 8x275C16 | 13'-3 3/8" |
| DJ-3 | 8x275C16 | 13'-3 3/8" |
| DH-2 | 8x275C16 | 11'-11 1/2" |
| E-1 | 8x275E16 | 15'-11 1/4" |
| E-2 | 8x275E16 | 13'-11 1/2" |
| E-3 | 8x275E16 | 13'-11 1/2" |
| E-4 | 8x275E16 | 15'-11 1/4" |
| E-5 | 8x275E16 | 15'-11 1/4" |
| G-3 | 8x25Z16 | 1'-7" |
| G-4 | 8x25Z16 | 1'-11" |
| G-5 | 8x25Z16 | 16'-3" |
| G-6 | 8x25Z16 | 16'-3" |
| G-7 | 8x25Z16 | 16'-7" |
| G-8 | 8x25Z16 | 16'-3" |
| G-9 | 8x25Z16 | 16'-11 1/2" |
| G-10 | 8x25Z16 | 16'-0" |
| G-11 | 8x25Z16 | 16'-11 1/2" |
| CB-1 | 0.25_CBL | 16'-0" |
| CB-2 | 0.25_CBL | 17'-0" |
| CB-3 | 0.25_CBL | 17'-1" |

| CONNECTION PLATES FRAME LINE A & D | |
|---|---|
| ID | MARK/PART |
| 1 | CLC008 |
| 2 | CLC212 |
| 3 | CLC213 |
| 4 | CLC062 |
| 5 | CLC025 |
| 6 | SA |
| 7 | CLC253 |

6" concrete
18in rock

6" concrete
18" rock

REGISTERED PROFESSIONAL ENGINEER
62618PE
OREGON
ORIGINAL DATE OF REG 11-09-18
MINGQIAO ZHU
EXPIRES: 06/30/2026

08/29/2024

## GENERAL NOTES:

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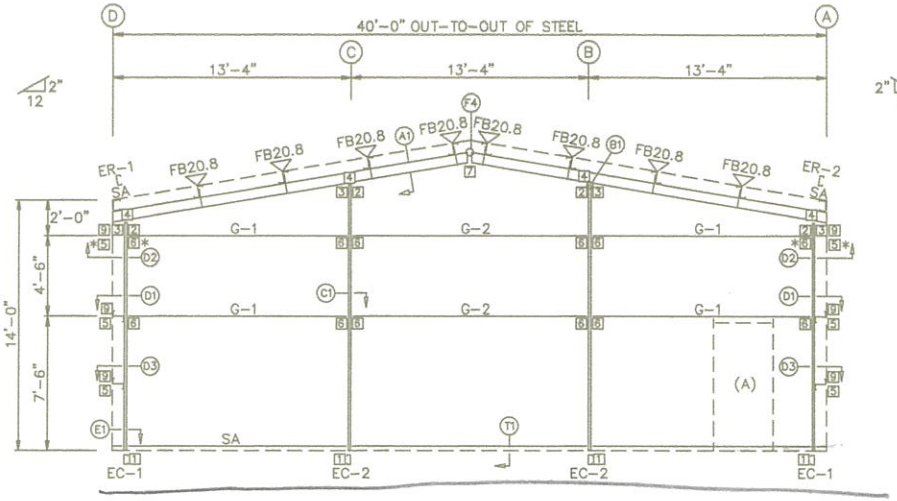
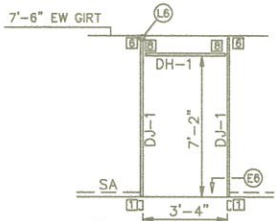
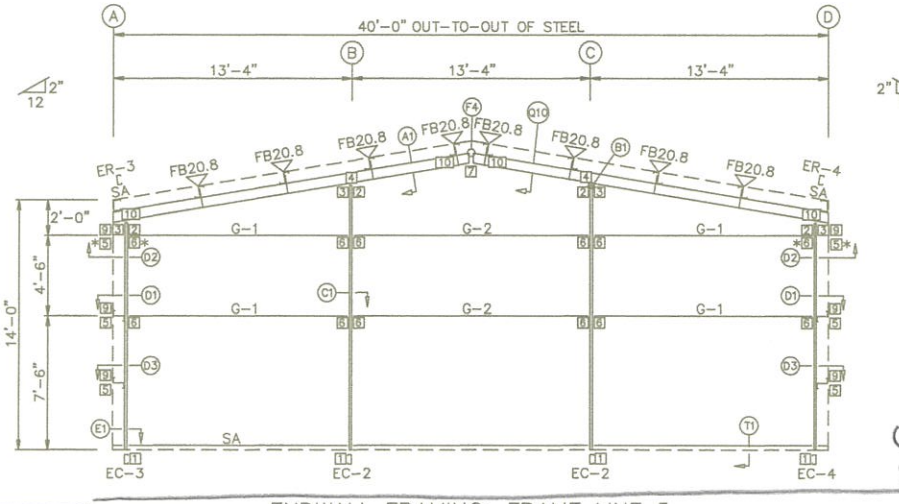
| Checker: MN | Date: 8/19/24 | | |
| SIDEWALL FRAMING | | | Sht E4 of 11 |




ENDWALL FRAMING: FRAME LINE 1




6" concrete
18" rock




ENDWALL FRAMING: FRAME LINE 5

6" concrete
18" rock

BOLT TABLE
FRAME LINE 1 & 5

| LOCATION | QUAN | TYPE | DIA | LENGTH |
|---|---|---|---|---|
| ER-1/ER-2 | 4 | A325T | 1/2" | 2" |
| ER-3/ER-4 | 4 | A325T | 1/2" | 2" |
| Columns/Raf | 8 | A325T | 1/2" | 2" |

MEMBER TABLE
FRAME LINE 1 & 5

| MARK | PART | LENGTH |
|---|---|---|
| EC-1 | 8x275C16 | 12'-6 1/16" |
| EC-2 | 8x375C14 | 14'-7 7/16" |
| EC-3 | 8x275C16 | 12'-6 1/16" |
| EC-4 | 8x275C16 | 12'-6 1/16" |
| ER-1 | 10x28C14 | 20'-1 1/2" |
| ER-2 | 10x28C14 | 20'-1 1/2" |
| ER-3 | 10x28C14 | 20'-1 1/2" |
| ER-4 | 10x28C14 | 20'-1 1/2" |
| DJ-1 | 8x275C16 | 7'-1 1/2" |
| DH-1 | 8x275C16 | 3'-3 1/2" |
| G-1 | 8x25Z16 | 11'-11" |
| G-2 | 8x25Z16 | 13'-3" |

FLANGE BRACE TABLE
FRAME LINE 1 & 5

| ▽ID | QUAN | MARK | LENGTH |
|---|---|---|---|
| 1 | 16 | FB20.8 | 1'-8 3/4" |

CONNECTION PLATES
FRAME LINE 1 & 5

| □ID | MARK/PART |
|---|---|
| 1 | CLC008 |
| 2 | CLC081 |
| 3 | CLC083 |
| 4 | CLC089 |
| 5 | CLC054 |
| 6 | CLC062 |
| 7 | CLC122 |
| 8 | CLC025 |
| 9 | CLC053 |
| 10 | SCL-2 |

* REVERSE CLIP

GENERAL NOTES:

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REGISTERED PROFESSIONAL ENGINEER
62618PE
OREGON
ORIGINAL DATE OF REG 11-09-18
MINGQIAO ZHU
EXPIRES: 06/30/2026

08/29/2024

| | | | |
|---|---|---|---|
| OLYMPIA STEEL BUILDINGS | | Customer: GRANT ROCHA | |
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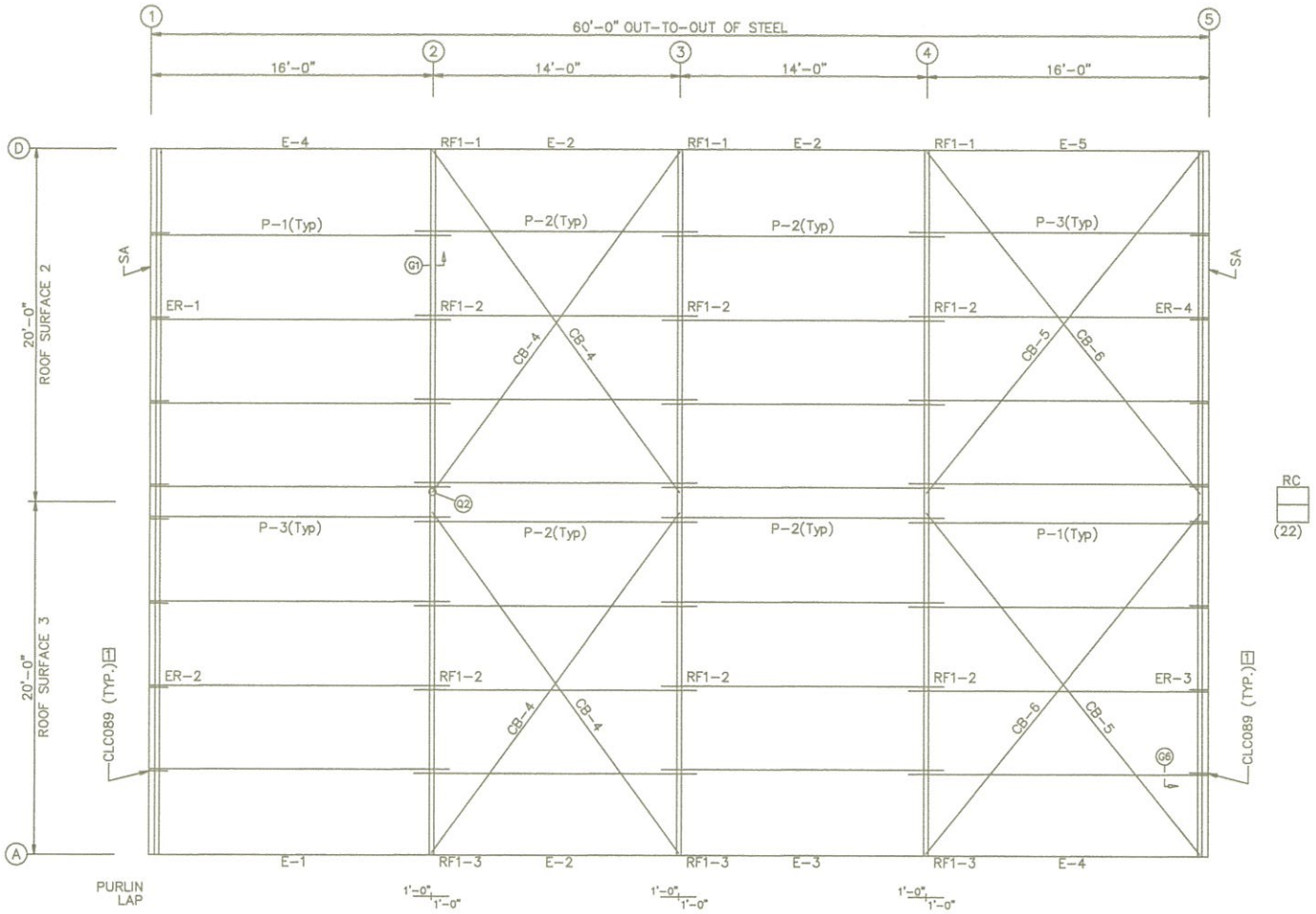
| ENDWALL FRAMING | | | Sht E5 of 11 |




ROOF FRAMING PLAN

| MEMBER TABLE ROOF PLAN | | |
|---|---|---|
| MARK | PART | LENGTH |
| P-1 | 8x25Z16 | 16'-11 1/2" |
| P-2 | 8x25Z16 | 16'-0" |
| P-3 | 8x25Z16 | 16'-11 1/2" |
| E-1 | 8x275E16 | 15'-11 1/4" |
| E-2 | 8x275E16 | 13'-11 1/2" |
| E-3 | 8x275E16 | 13'-11 1/2" |
| E-4 | 8x275E16 | 15'-11 1/4" |
| E-5 | 8x275E16 | 15'-11 1/4" |
| CB-4 | 0.25_CBL | 21'-8" |
| CB-5 | 0.25_CBL | 22'-11" |
| CB-6 | 0.25_CBL | 22'-6" |

| CONNECTION PLATES ROOF PLAN | |
|---|---|
| ☐ID | MARK/PART |
| 1 | CLC089 |

ROOF SHEETING

PANELS: 26 Ga. PBR Galvalume/Plain

REGISTERED PROFESSIONAL ENGINEER
62018PE
OREGON
ORIGINAL DATE OF REG 11-09-1995
MINGQIAO ZHU

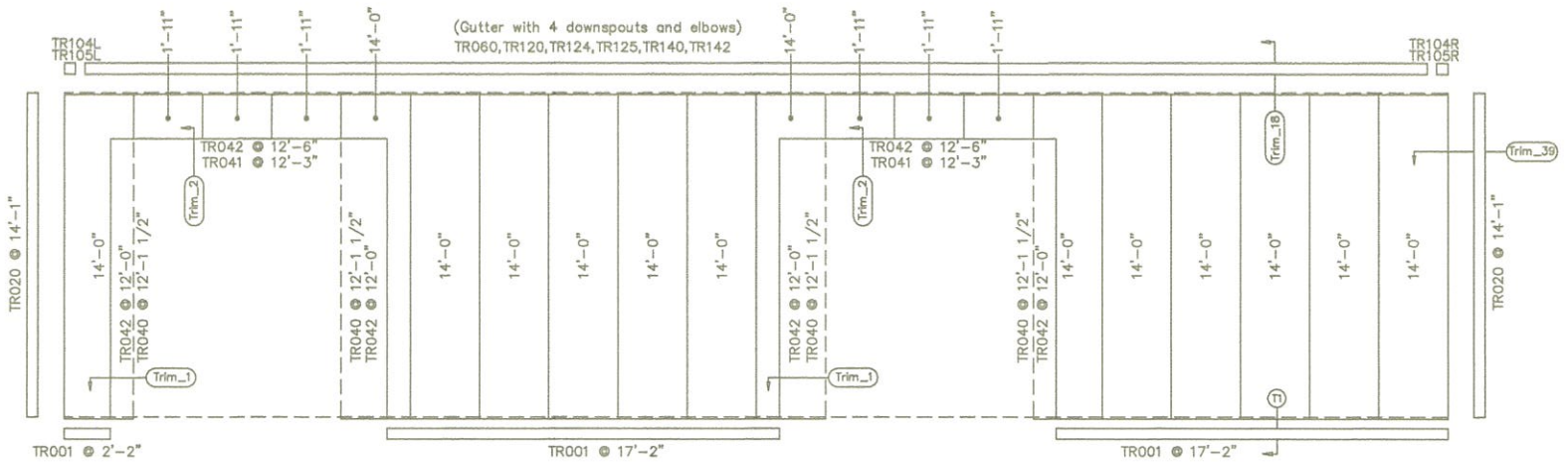
EXPIRES: 06/30/2026

08/29/2024

## GENERAL NOTES:

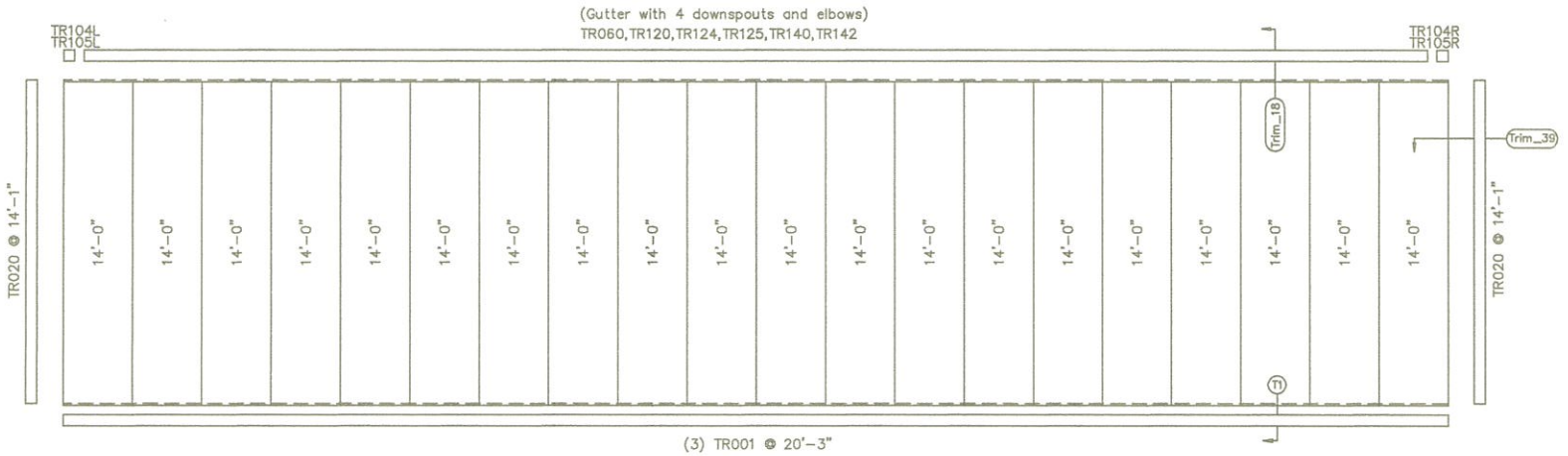
MINOR FIELD WORK OF STRUCTURAL, SECONDARY AND PANEL/TRIM ITEMS MAY BE NECESSARY TO ENSURE PROPER FIT. SUCH WORK IS CONSIDERED A NORMAL PART OF METAL BUILDING ERECTION. WE WILL NOT HONOR BACKCHARGES FOR MINOR FIELD WORK.

| | | | |
|---|---|---|---|
| OLYMPIA STEEL BUILDINGS | | Customer: GRANT ROCHA | |
| MCKEES ROCKS PA 15136 | | TILLAMOOK/OR/97141 | |
| Drafter: MO | Date: 8/19/24 | Designer: MQZ | Date: 8/19/24 |
| Detailer: SR | Date: 8/19/24 | Sales ID: | Factory ID: 012068 |
| Checker: MN | Date: 8/19/24 | | |
| ROOF FRAMING PLAN | | | Sht E6 of 11 |




SIDEWALL SHEETING & TRIM: FRAME LINE A

PANELS: 26 Ga. PBR – Light Stone




SIDEWALL SHEETING & TRIM: FRAME LINE D

PANELS: 26 Ga. PBR – Light Stone

REGISTERED PROFESSIONAL ENGINEER
62618PE
OREGON
ORIGINAL DATE OF REG: 11-09-18
MINGQIAO ZHU

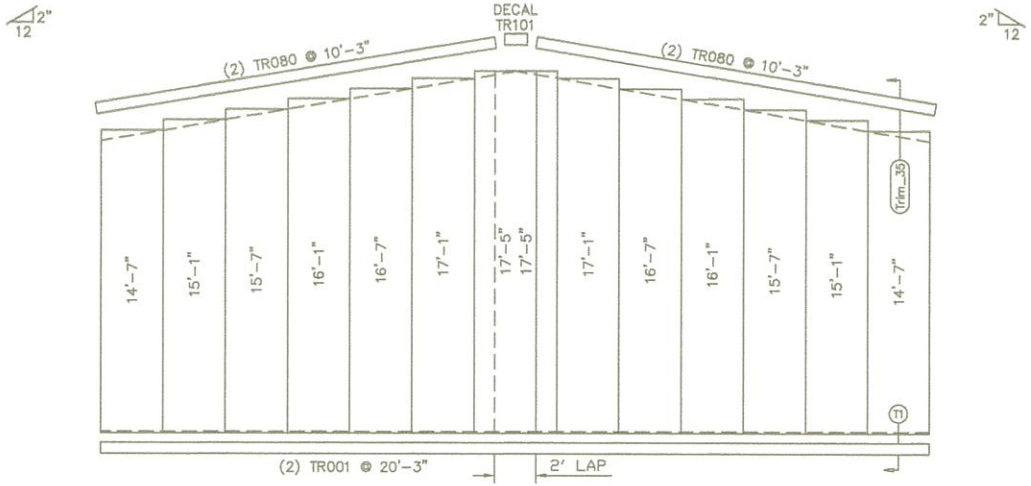
EXPIRES: 06/30/2026

08/29/2024

## GENERAL NOTES:

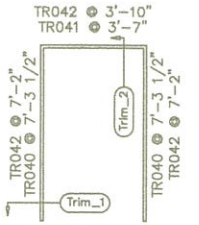
MINOR FIELD WORK OF STRUCTURAL, SECONDARY AND PANEL/TRIM ITEMS MAY BE NECESSARY TO ENSURE PROPER FIT. SUCH WORK IS CONSIDERED A NORMAL PART OF METAL BUILDING ERECTION. WE WILL NOT HONOR BACKCHARGES FOR MINOR FIELD WORK.

| | | | |
|---|---|---|---|
| OLYMPIA STEEL BUILDINGS | | Customer: GRANT ROCHA | |
| MCKEES ROCKS PA 15136 | | TILLAMOOK/OR/97141 | |
| Drafter: MO | Date: 8/19/24 | Designer: MQZ | Date: 8/19/24 |
| Detailer: SR | Date: 8/19/24 | Sales ID: | Factory ID: 012068 |
| Checker: MN | Date: 8/19/24 | | |
| SIDEWALL SHEETING | | | Sht E7 of 11 |

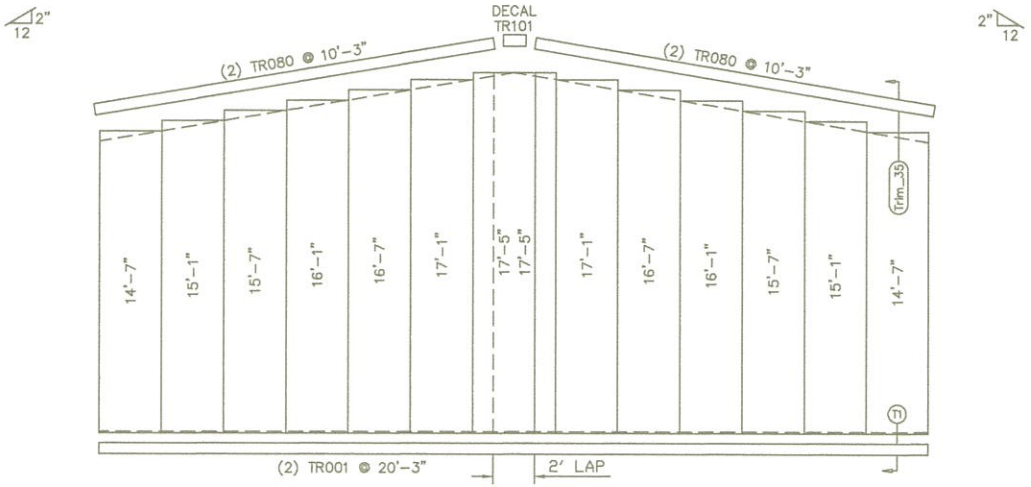



ENDWALL SHEETING & TRIM: FRAME LINE 1

PANELS: 26 Ga. PBR – Light Stone




TRIM DETAIL LAYOUT
FOR 3'-4"x7'-2" WALKDOOR
(2 REQ'D)




ENDWALL SHEETING & TRIM: FRAME LINE 5

PANELS: 26 Ga. PBR – Light Stone

GENERAL NOTES:

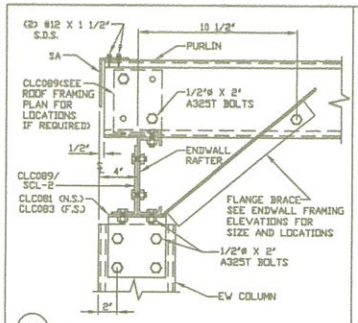
MINOR FIELD WORK OF STRUCTURAL, SECONDARY AND PANEL/TRIM ITEMS MAY BE NECESSARY TO ENSURE PROPER FIT. SUCH WORK IS CONSIDERED A NORMAL PART OF METAL BUILDING ERECTION. WE WILL NOT HONOR BACKCHARGES FOR MINOR FIELD WORK.

REGISTERED PROFESSIONAL ENGINEER
62618PE
OREGON
ORIGINAL DATE OF REG 11-09-18
MINGQIAO ZHU

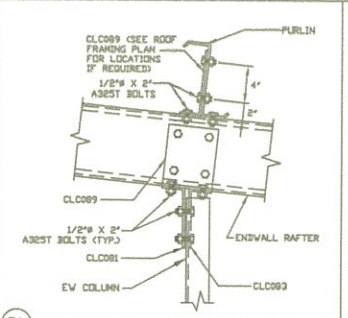
EXPIRES: 06/30/2026

08/29/2024

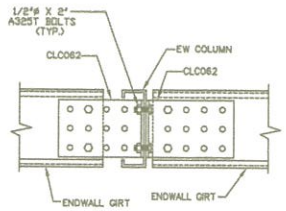
| | | | |
|---|---|---|---|
| OLYMPIA STEEL BUILDINGS | | Customer: GRANT ROCHA | |
| MCKEES ROCKS PA 15136 | | TILLAMOOK/OR/97141 | |
| Drafter: MO | Date: 8/19/24 | Designer: MQZ | Date: 8/19/24 |
| Detailer: SR | Date: 8/19/24 | Sales ID: | Factory ID: 012068 |
| Checker: MN | Date: 8/19/24 | | |
| ENDWALL SHEETING | | | Sht E8 of 11 |



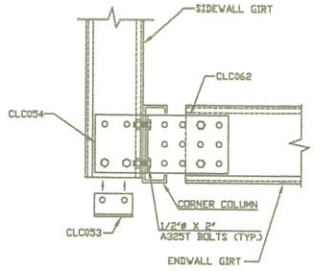

A1 PURLIN TO ENDWALL RAFTER



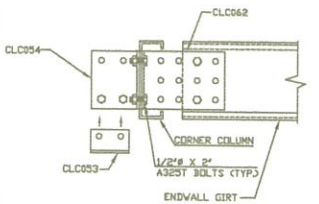

B1 EW COLUMN TO ENDWALL RAFTER



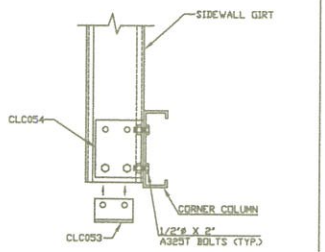

C1 ENDWALL COLUMN GIRT CONNECTION



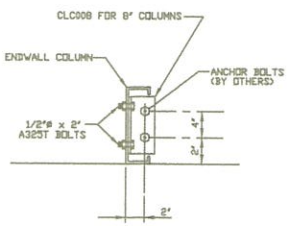

D1 CORNER COLUMN GIRT CONNECTION



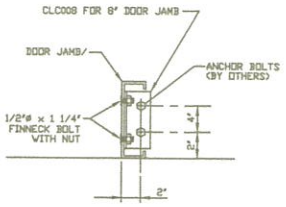

D2 CORNER COLUMN GIRT CONNECTION



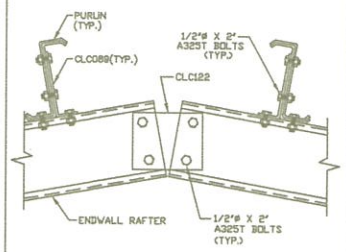

D3 CORNER COLUMN GIRT CONNECTION



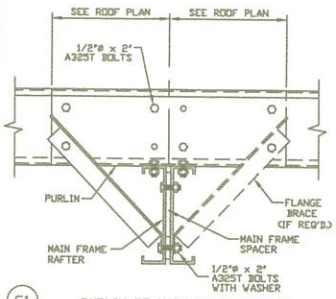

E1 ENDWALL COLUMN BASE SECTION



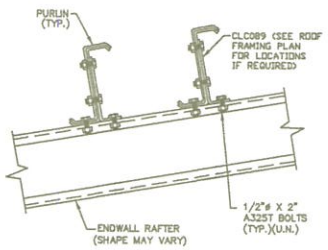

E6 DOOR JAMB AT OPENING BASE SECTION



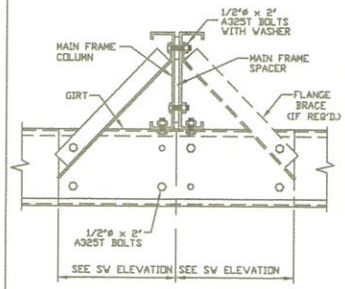

F4 ENDWALL RAFTER PEAK CONNECTION



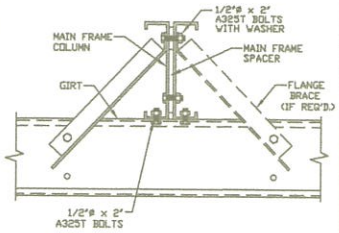

G1 PURLIN TO MAIN FRAME RAFTER



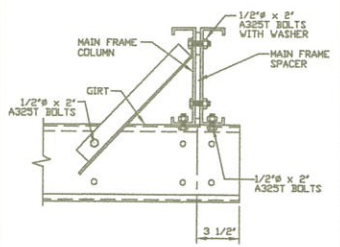

G6 PURLIN CLIP DETAIL




H1 GIRT TO MAIN FRAME COLUMN




H2 GIRT TO MAIN FRAME COLUMN WITHOUT LAP



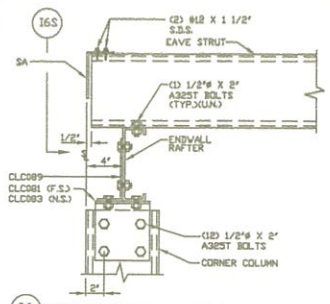

H3 GIRT TO MAIN FRAME COLUMN WITHOUT LAP

REGISTERED PROFESSIONAL ENGINEER
62618PE
OREGON
ORIGINAL DATE OF REG 11-09-18
MINGQIAO ZHU

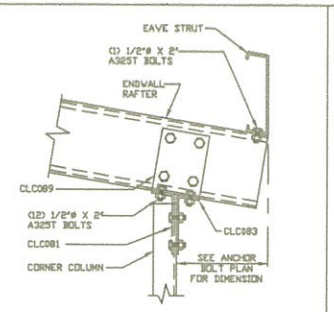
EXPIRES: 06/30/2026

08/29/2024

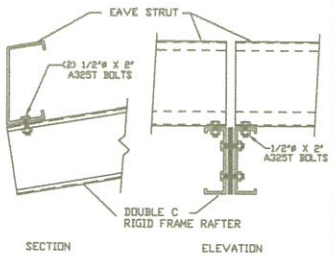
| | | | |
|---|---|---|---|
| OLYMPIA STEEL BUILDINGS | | Customer: GRANT ROCHA | |
| MCKEES ROCKS PA 15136 | | TILLAMOOK/OR/97141 | |
| Drafter: MO | Date: 8/19/24 | Designer: MQZ | Date: 8/19/24 |
| Detailer: SR | Date: 8/19/24 | Sales ID: | Factory ID: 012068 |
| Checker: MN | Date: 8/19/24 | | |
| DETAIL DRAWINGS | | | Sht E9 of 11 |



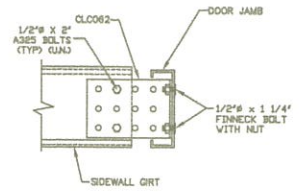

I6 CORNER COLUMN TO ENDWALL RAFTER



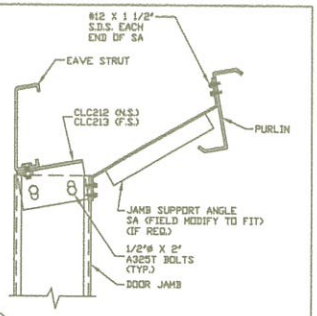

I6S CORNER COLUMN TO ENDWALL RAFTER



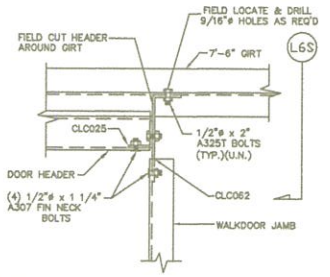

J22 EAVE STRUT TO MAIN FRAME



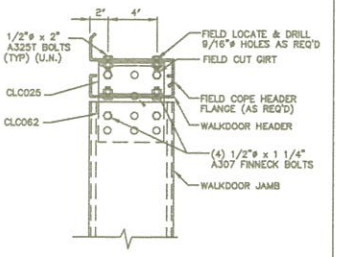

K2 DOOR JAMB TO GIRT CONNECTION



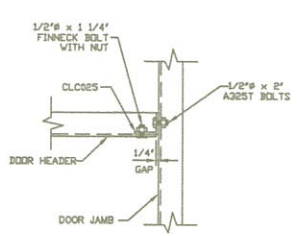

L1 DOOR JAMB TO EAVE STRUT



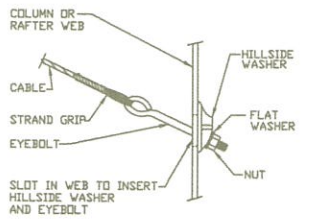

L6 DOOR JAMB & HEADER TO WALL GIRT



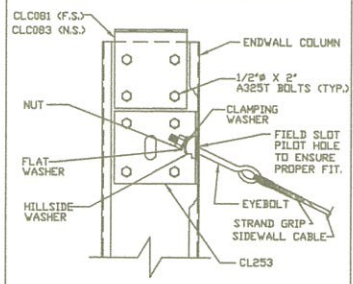

L6S DOOR JAMB & HEADER TO WALL GIRT



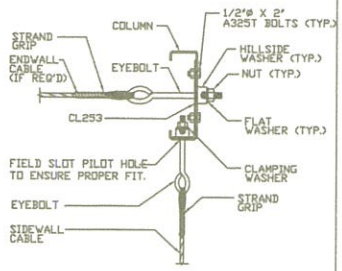

M1 HEADER TO DOOR JAMB CONNECTION



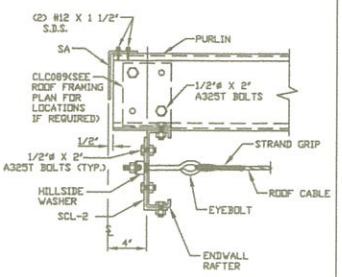

Q2 DIAGONAL CABLE BRACE CONNECTION



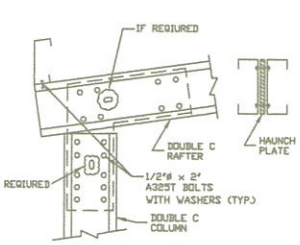

Q8 CABLE TO ENDWALL COLUMN



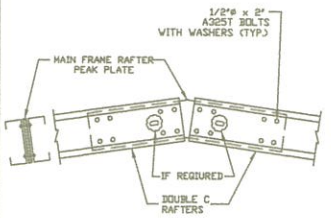

Q9 DIAGONAL CABLE BRACE CONNECTION




Q10 CABLE TO END WALL RAFTER




U11 MAIN FRAME COLUMN TO MAIN FRAME RAFTER

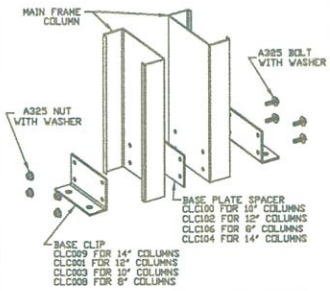



U12 MAIN FRAME RAFTER PEAK CONNECTION

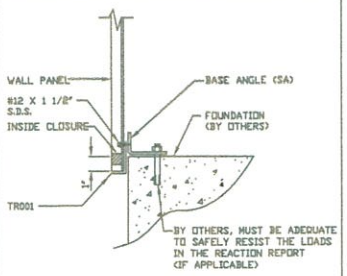
REGISTERED PROFESSIONAL ENGINEER
62618PE
OREGON
ORIGINAL DATE OF REG 11-09-18
MINGQIAO ZHU
EXPIRES: 06/30/2026

08/29/2024

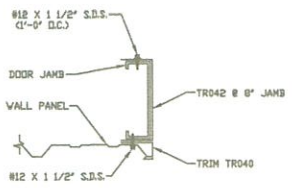
| | | | |
|---|---|---|---|
| OLYMPIA STEEL BUILDINGS | | Customer: GRANT ROCHA | |
| MCKEES ROCKS PA 15136 | | TILLAMOOK/OR/97141 | |
| Drafter: MO | Date: 8/19/24 | Designer: MQZ | Date: 8/19/24 |
| Detailer: SR | Date: 8/19/24 | Sales ID: | Factory ID: 012068 |
| Checker: MN | Date: 8/19/24 | | |
| DETAIL DRAWINGS | | | Sht E10 of 11 |



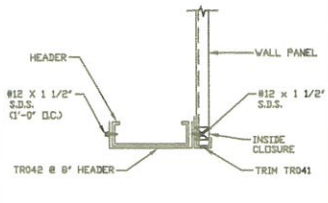

SIDEWALL COLUMN BASE CONNECTION



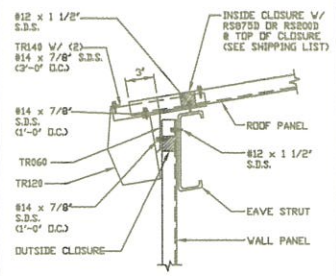

T1 BASE TRIM SECTION



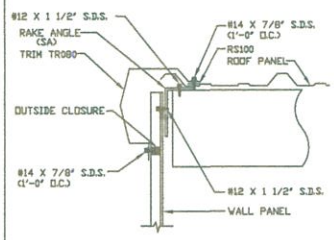

Trim_1 DOOR JAMB TRIM



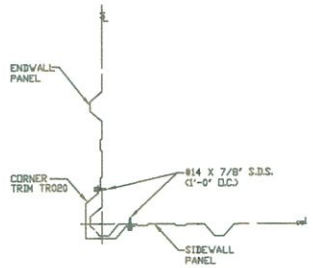

Trim_2 HEADER TRIM



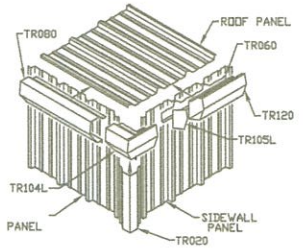

Trim_18 GUTTER TRIM SECTION



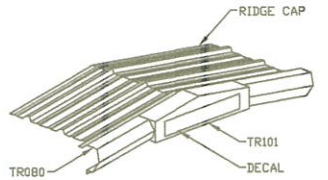

Trim_35 RAKE TRIM SECTION



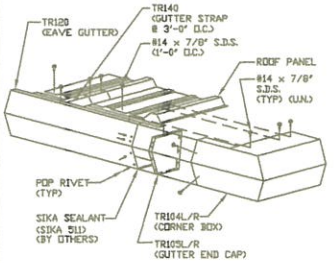

Trim_39 CORNER TRIM SECTION



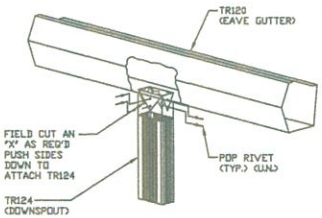

BUILDING CORNER DETAIL




PEAK DETAIL




GUTTER END CAP DETAIL




GUTTER/DOWNSPOUT ASSEMBLY


EXPIRES: 06/30/2026

08/29/2024

| | | | |
|---|---|---|---|
| OLYMPIA STEEL BUILDINGS | | Customer: GRANT ROCHA | |
| MCKEES ROCKS PA 15136 | | TILLAMOOK/OR/97141 | |
| Drafter: MO | Date: 8/19/24 | Designer: MQZ | Date: 8/19/24 |
| Detailer: SR | Date: 8/19/24 | Sales ID: | Factory ID: 012068 |
| Checker: MN | Date: 8/19/24 | | |
| TRIM DRAWINGS | | | Sht E11 of 11 |