



Land of Cheese, Trees and Ocean Breeze

VARIANCE REQUEST #851-23-000562-PLNG: Peters/Batchelder/Gauen

*NOTICE TO MORTGAGEE, LIENHOLDER, VENDOR OR SELLER:
ORS 215 REQUIRES THAT IF YOU RECEIVE THIS NOTICE,
IT MUST BE PROMPTLY FORWARDED TO THE PURCHASER*

June 6, 2024

Dear Property Owner:

This is to confirm that the Tillamook County Department of Community Development **APPROVED WITH CONDITIONS** the above-cited Variance Request on June 6, 2024.

A copy of the application, along with a map of the request area and the applicable criteria for review are available for inspection on the Tillamook County Department of Community Development website: <https://www.tillamookcounty.gov/commdev/landuseapps> and is also available for inspection at the Department of Community Development office located at 1510-B Third Street, Tillamook, Oregon 97141.

Appeal of this decision. This decision may be appealed to the Tillamook County Planning Commission, who will hold a public hearing. Forms and fees must be filed in the office of this Department before **4:00 PM on June 18, 2024.**

Request: A Variance request to increase the allowed driveway width of 25-percent of the street frontage of the lot to 42.6-percent and increase the allowed building width of 70-percent at all points to 77.1-percent, to allow for the placement of a residential structure and improve its driveway/access.

Location: The subject property is located in the Unincorporated Community of Neskowin, accessed via Hillcrest Road, a private road and designated as Tax Lot 600 of Section 36BC, Township 5 South, Range 11 West, W.M., Tillamook County, Oregon.

Zone: Neskowin Low Density Residential (NeskR-1) Zone

Applicant: Lydia Peters, Nathan Good Architects, 205 Liberty St NE, Suite B, Salem, OR 97301

Property Owner: Brian Batchelder and Suzanne Gauen, 3932 NE 37th Ave, Portland, OR 97212

CONDITIONS OF APPROVAL

1. The applicant/property owner shall obtain all Federal, State, and Local permits, as applicable.
2. The applicant/property owner shall obtain an approved revised Consolidated Zoning/Building permit application from the Tillamook County Department of Community Development, prior to continued development of the site.
3. Development of the property shall maintain a driveway width of 42.6-percent and increase the allowed building width of 70-percent at all points to 77.1-percent, for proposed development of a parking pad for residential development.
4. An updated conformance letter from a geoprofessional shall confirm that all applicable development standards and recommendations maintained in the approved Geologic Hazard Report #851-23-000200-PLNG, are met with the proposed development. This conformance letter shall be provided at the time of the revised Consolidated Zoning/Building permit submittal.
5. Development shall otherwise comply with the applicable standards and requirements of TCLUO Sections 3.322, 'Neskowin Low Density Residential (NeskR-1) Zone'. The applicant/property owner shall submit a site plan, drawn to scale and indicating all required yard setbacks, lot coverage and parking, at the time of Consolidated Zoning/Building permit application.
6. This approval shall be void on June 6, 2026, unless construction of approved plans has begun, or an extension is requested from, and approved by this Department.

Sincerely,



Melissa Jenck, Senior Planner, CFM

Sarah Absher, CFM, Director

Enc.: Vicinity, Assessor & Zoning maps



Land of Cheese, Trees, and Ocean Breeze

VARIANCE, 851-23-000562-PLNG: Peters/Batchelder/Gauen

ADMINISTRATIVE DECISION AND STAFF REPORT

DECISION: Approved with Conditions

Decision Date: June 6, 2024

REPORT PREPARED BY: Melissa Jenck, CFM, Senior Planner

A handwritten signature in blue ink, appearing to be 'MJ', is written over a circular blue stamp or mark.

I. GENERAL INFORMATION:

Request: A Variance request to increase the allowed driveway width of 25-percent of the street frontage of the lot to 42.6-percent and increase the allowed building width of 70-percent at all points to 77.1-percent, to allow for the placement of a residential structure and improve its driveway/access.

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Applicant: Lydia Peters, Nathan Good Architects, 205 Liberty St NE, Suite B, Salem, OR 97301

Property Owner: Brian Batchelder and Suzanne Gauen, 3932 NE 37th Ave, Portland, OR 97212

Description of Site and Vicinity: The subject property is accessed via Hillcrest Road, a private road, to the northeast, and Seacrest Drive to the southwest, is heavily vegetated and encompasses 0.17-acres according to County GIS records (Exhibit A). The subject property along with the properties in the vicinity are zoned Neskowin Low Density Residential zone (NeskR-1) and the area generally consists of single-family dwellings (Exhibit A).

The Applicant is proposing to increase the allowed driveway width of 25-percent of the street frontage of the lot to 42.6-percent and increase the allowed building width of 70-percent at all points to 77.1-percent, to allow for the placement of a residential structure and improve driveway and access on the subject property (Exhibit B).

No wetlands or riverine features are mapped or present on the subject property, as indicated on the State Wetlands Inventory (Exhibit A) The area is in Flood Zone “X”, according to FEMA FIRM 41057C1005F dated September 28, 2018, and is not in a Special Flood Hazard Area (Exhibit A).

The property is identified as a Shallow Landslide Susceptibility as detailed in the DOGAMI Open File Report O-20-13, and Rapidly Moving Landslide as detailed in DOGAMI IMS22 (Exhibit A & B).

II. APPLICABLE ORDINANCE AND COMPREHENSIVE PLAN PROVISIONS:

The request is governed through the following Sections of the Tillamook County Land Use Ordinance (TCLUO). The suitability of the proposed use, in light of these criteria, is discussed in Section III of this report:

- A. Section 3.322: Neskowin Low Density Residential (NeskR-1) Zone
- B. Section 4.130: Development Requirements for Geologic Hazard Areas
- C. Article VIII: Variance Procedures and Criteria (including Section 4.005: Residential and Commercial Zone Standards)

III. ANALYSIS:

A. TCLUO Section 3.322: Neskowin Low Density Residential (NeskR-1) Zone

Section 3.333(2) and 3.310(3) list uses permitted outright and conditionally in the zone.

Findings: Staff find that the proposed single-family dwelling is permitted outright use in the NeskR-1 zone.

Section 3.322(4), STANDARDS: *Land divisions and development in the NeskR-1 zone shall conform to the following standards, unless more restrictive supplemental regulations apply:*

...
(f) Driveway connection to the street shall be limited to 25% of the street frontage of the lot, but not less than 12 feet, unless the Tillamook County Public Works Department or the Oregon Department of Transportation requires a different width.

...
(j) Structures shall meet the following standards. Applicants shall demonstrate compliance with these standards on submitted plans. For purposes of these standards, building depth is defined as the dimension of the building footprint measured between the front and rear setbacks, and building width is defined as the dimension of the building footprint measured between side property lines.

...
(2) Building width at all points shall not exceed 70% of the distance between opposite side lot lines (measured as close to perpendicular to those lines as possible).

Findings: Applicant is requesting a reduction of the street-frontage connection from 25% to 42.6%, to improve access for the proposed siting of a new single-family dwelling (Exhibit B). Applicant is requesting to increase the allowed building width of 70-percent at all points to 77.1-percent, to allow for the placement of a proposed residential structure.

Staff finds that the requested Variance may be permitted only on finding that the requirements of TCLUO Article 8 have been satisfied. The requirements of TCLUO Article 8, 'Variance Procedures and Criteria' are addressed below.

B. TCLUO Section 4.130: Development Requirements for Geologic Hazard Areas

The subject property is located in an area of shallow landslide susceptibility, as identified in DOGAMI Open File Report O-20-13, and Rapidly Moving Landslide as identified in DOGAMI IMS22 and is therefore subject to the development standards of TCLUO Section 4.130(2).

Findings: Staff finds a Geologic Hazard Report in conformance with the requirements of TCLUO Section 4.130 was completed for the subject property in 2023, permit #851-23-000200-PLNG. Staff find a condition of approval for compliance with the recommendations and requirements of the hazard report approved in permit #851-23-000200-PLNG, be maintained for the proposed development.

C. Article VIII: Variance Procedure and Criteria; including Section 4.005 Residential and Commercial Zone Standards

Article VIII of the Tillamook County Land Use Ordinance governs the applications of Variances within the County. Article IV, Section 4.005 lists the purposes of the land use standards in each of the residential and commercial zones.

Section 8.020 requires notification of the request to be mailed to landowners within 250-feet of the subject property, to allow at least 14 days for written comment and requires Staff to consider comments received in making the decision.

Findings: A notice of the request was mailed to property owners within 250 feet of the subject property and other agencies on March 29, 2024. One comment was received from a neighboring property, contained within 'Exhibit C'. Concerns from the public included proximity of the roof/overhang along the frontage of the subject property (Exhibit C). Staff would include the subject property is considered a small lot of less than 7,500 square feet, per TCLUO Section 4.110(5), and would allow for the reduction of the front or rear yard to a 10-ft setback, while maintaining a 10-ft side yard on at least one side. Staff find that the subject property was approved through the Consolidated Zoning/Building Permit #851-23-001914-DWL for a 10-ft front yard setback using TCLUO Section 4.110(5).

Section 8.030 states that a Variance may be authorized if the applicants/property owners adequately demonstrate that the proposed use satisfies all relevant requirements, including all four review criteria in Section 8.030. These criteria, including Section 4.005 Residential and Commercial Zone Standards, along with Staff's findings and conclusions are indicated below:

- (1) Circumstances attributable either to the dimensional, topographical, or hazardous characteristics of legally existing lot, or to the placement of structures thereupon, would effectively preclude the enjoyment of a substantial property right enjoyed by the majority of landowners in the vicinity, if all applicable standards were to be met. Such circumstances may not be self-created.*

Findings: The subject property is 98-ft by 85-feet at its frontage upon Hillcrest Road and is characterized by steep topography sloping downward towards the southwest (Exhibit A & B). Applicant states that the requested increase in street frontage and width of the structure is due topographical circumstances of the property, which generates difficulty in adequate siting of parking area for two (2) parking spaces with appropriate maneuvering (Exhibit B).

Staff find multiple single-family dwellings located on adjacent property and within the NesR-1 zone (Exhibit A). Additionally, staff find properties which maintain street frontages greater than 25% of the lots respective street frontage, including properties located at 5S11-36BC-01100, 5S11-36BC-01600 and 5S11-36BC-01800.

Staff finds that due to the dimensional and topographic characteristics of the legally existing lot, enjoyment of a dwelling and required parking off-street would be precluded on the subject property. Staff concludes that this criterion has been met.

(2) A variance is necessary to accommodate a use or accessory use on the lot which can be reasonably expected to occur within the zone or vicinity.

Findings: As discussed above, the Applicant is proposing to increase the allowed driveway width of 25-percent of the street frontage of the lot to 42.6-percent and increase the allowed building width of 70-percent at all points to 77.1-percent (Exhibit B). Applicant states the variance is necessary to accommodate parking area for maneuvering within the property (Exhibit B).

Staff find single-family dwellings are permitted outright and is expected or occur within this zone. Staff find that parking for two (2) 8-ft by 20-ft spaces are to occur within a property boundary, for a residential improvement. Staff concludes that this criterion has been met.

(3) The proposed variance will comply with the purposes of relevant development standards as enumerated in Section 4.005 and will preserve the right of adjoining property owners to use and enjoy their land for legal purposes.

Section 4.005: Residential and Commercial Zone Standards of the Tillamook County Land Use Ordinance lists the purposes of the land use standards in each of the residential and commercial zones as follows:

- (1) To ensure the availability of private open spaces;*
- (2) To ensure that adequate light and air are available to residential and commercial structures;*
- (3) To adequately separate structures for emergency access;*
- (4) To enhance privacy for occupants or residences;*

Findings: Applicant states that the proposal will improve emergency access and ensure parking will remain within the private property (Exhibit B). Applicant details that the proposal will not impact neighboring views, availability of private open space (Exhibit B).

Comments from a neighboring property detailed concerns for any proposed roof/overhang which would extend over the newly proposed parking area (Exhibit C). Staff find that the Applicants proposal does not include any roof/overhangs which would extend from the existing design of the dwelling, over the parking area (Exhibit B).

Staff finds that the proposed development will maintain privacy and adequate access to air, light and open space for the subject property and the surrounding properties, similar to those experienced by neighboring properties in the vicinity. Staff find the proposed dwelling and parking area maintains height similar to those in the surrounding area (Exhibit A). Staff finds that these criteria are met.

(5) To ensure that all private land uses that can be reasonably expected to occur on private land can be entirely accommodated on private land, including but not limited to dwellings,

- shops, garages, driveway, parking, areas for maneuvering vehicles for safe access to common roads, alternative energy facilities, and private open spaces;*
- (6) *To ensure that driver visibility on adjacent roads will not be obstructed;*
- (7) *To ensure safe access to and from common roads;*

Findings: Applicant's submittal documents that all private land uses will occur on the subject property. Access is provided via Hillcrest Road, a private road. Access will not be impeded as the proposed dwelling maintains a 10-ft front yard setback, with the proposal maintaining a parking area along the easterly portion of the property for parking and maneuvering outside Hillcrest Road right-of-way (Exhibit B). The site plan shows adequate area for the two required off-street parking spaces in accordance with TCLUO Section 4.030. Staff finds that access to adjacent properties will not be impacted by the proposed driveway access and parking area, and that driver visibility will not be obstructed as all uses will be located within the property boundary lines of the subject property and maintain within approved building heights for the zone.

Tillamook County Public Works and Nestucca Rural Fire District were noticed as part of this application. No comments were received as part of this application.

Staff finds that these criteria can be met through compliance with Conditions of Approval.

- (8) *To ensure that pleasing view are neither unreasonably obstructed nor obtained;*

Findings: Applicant states that the proposed structure will meet height requirements of the zone (Exhibit B). The County regulates views through compliance with building height requirements. The Neskr-1 zone allows for a building height of structures on this property to 35-feet. Staff finds that the Applicants submittal includes a building demonstrating compliance with 35-ft building height, being located lower than the existing approved roofline (Exhibit B). Staff finds the criterion in Section 4.005(8) can be met through compliance with the Conditions of Approval.

- (9) *To separate potentially incompatible land uses;*

Findings: The applicant is proposing to construct a single-family dwelling, along with a parking pad (Exhibit B). The use is allowed outright in the Neskr-1 zone and is expected to occur in this area. The vicinity is either vacant or improved with single-family dwellings (Exhibit A). Staff finds that the criterion in Section 4.005(9) has been met.

- (10) *To ensure access to solar radiation for the purpose of alternative energy production.*

Findings: County records do not indicate any such facilities are in the vicinity of the subject property. Staff finds that the proposed expansion does not unreasonably shadow or otherwise inhibit access to solar radiation on adjacent properties and finds that the criterion in Section 4.005(10) has been met.

- (4) *There are no reasonable alternatives requiring either a lesser or no variance.*

Findings: Applicant states that there are no other reasonable alternatives, due to the road termination of Hillcrest Road (Exhibit B).

Staff find development of the subject property for a dwelling maintains dimensional and topographical limitations due to steep slopes of the subject property, and the size of the parcel (Exhibit B). Staff find that a prior approved building permit maintained per #851-23-001914-DWL, was provided which identified the two (2) 8-ft by 20-ft parking areas maintained outside the Hillcrest Road right-of-way. However, Staff find

that the parking locations required maneuvering of the vehicles within the right-of-way for entering and existing of the subject property, due to topographical constraints (Exhibit A & B).

Staff finds that the dimensional and topographical characteristics limit the area of the subject property for parking and maneuvering for residential development of the property consistent with residential properties in the area. Staff finds that the criterion in Section 8.030(4) has been met.

IV. DECISION: APPROVED WITH CONDITIONS

Staff concludes, based on the findings of fact and other relevant information in the record, that the applicant has satisfied/or is able to satisfy the applicable ordinance requirements through the Conditions of Approval, and therefore, approves the request subject to the provisions in Section V below.

By accepting this approval the applicants/property owners agree to indemnify, defend, save and hold harmless Tillamook County, and its officers, agents, and employees from any claim, suit, action or activity undertaken under this approval, including construction under a Building Permit approved subject to this approval. The applicants/property owners shall obtain all of the necessary local, state, and federal permits and comply with all applicable regulations for the proposed building site.

This decision may be appealed to the Tillamook County Planning Commission, who will hold a public hearing. Forms and fees must be filed in the office of this Department before **4:00 PM on June 18, 2024.**

V. CONDITIONS OF APPROVAL:

Section 8.060: COMPLIANCE WITH CONDITIONS, and 8.070: TIME LIMIT requires compliance with approved plans and Conditions of this decision, and all other ordinance provisions, and allows 24 months for compliance with Conditions and start of construction. Failure to comply with the Conditions of Approval and ordinance provisions could result in nullification of this approval.

1. The applicant/property owner shall obtain all Federal, State, and Local permits, as applicable.
2. The applicant/property owner shall obtain an approved revised Consolidated Zoning/Building permit application from the Tillamook County Department of Community Development, prior to continued development of the site.
3. Development of the property shall maintain a driveway width of 42.6-percent and increase the allowed building width of 70-percent at all points to 77.1-percent, for proposed development of a parking pad for residential development.
4. An updated conformance letter from a geoprofessional shall confirm that all applicable development standards and recommendations maintained in the approved Geologic Hazard Report #851-23-000200-PLNG, are met with the proposed development. This conformance letter shall be provided at the time of the revised Consolidated Zoning/Building permit submittal.
5. Development shall otherwise comply with the applicable standards and requirements of TCLUO Sections 3.322, 'Neskowin Low Density Residential (NeskR-1) Zone'. The applicant/property owner shall submit a site plan, drawn to scale and indicating all required yard setbacks, lot coverage and parking, at the time of Consolidated Zoning/Building permit application.
6. This approval shall be void on June 6, 2026, unless construction of approved plans has begun, or an extension is requested from, and approved by this Department.

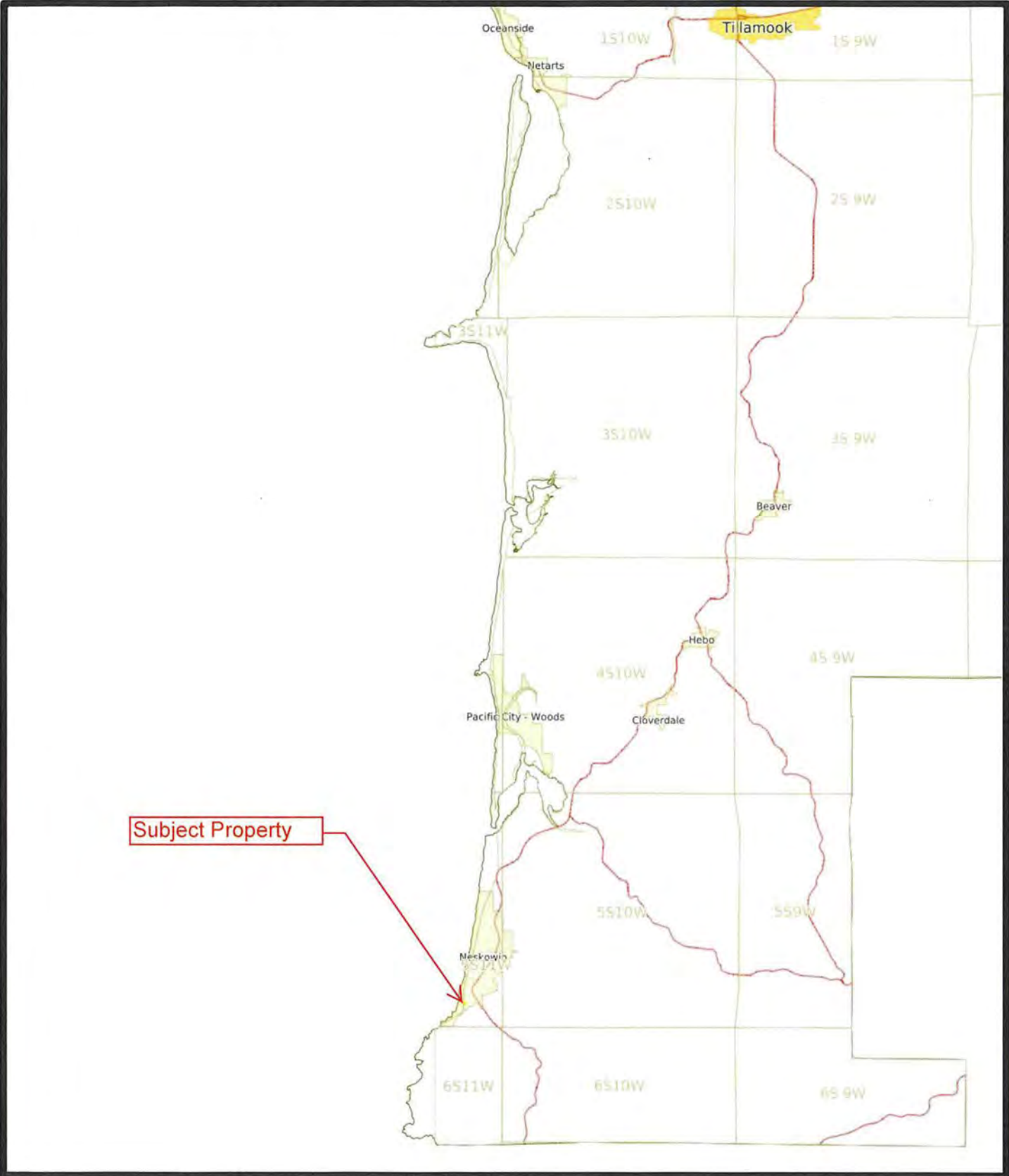
VI. EXHIBITS:

All Exhibits referenced herein are, by this reference, made a part hereof:

- A. Vicinity Map, Assessors Map, Assessors Summary, Zoning Map, FEMA FIRM
- B. Applicants Submittal
- C. Public Comments

EXHIBIT A

Vicinity Map



Zoning Map



THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSE ONLY



S.W.1/4 N.W.1/4 SEC.36 T.5S. R.11W. W.M.

TILLAMOOK COUNTY

1" = 100'

05S11W36BC



- CANCELLED
- 2100
- 2300
- 3200
- 3405
- 218
- 3501
- 227

22-7

PLAT 2006-46

PLAT 2006-43

PORTION PARCEL 3

SEE MAP 55 11W 35DA

SEE MAP 55 11W 36BB

SEE MAP 55 11W 35

SEE MAP 55 11W 36

05S11W36BC

Revised 3/28/24, WS

Tillamook County
2023 Real Property Assessment Report
 Account 257821

Map 5S1136BC00600
 Code - Tax ID 2209 - 257821

Tax Status Assessable
 Account Status Active
 Subtype NORMAL

Legal Descr See Record

Mailing BATCHELDER, BRIAN D &
 GAUEN, SUZANNE E H/W
 3932 NE 37TH AVE
 PORTLAND OR 97212

Deed Reference # 2003-418963
 Sales Date/Price 03-27-2003 / \$102,500
 Appraiser ROBERT BUCKINGHAM

Property Class 100 MA SA NH
 RMV Class 100 09 OV 989

Site Situs Address	City
4120 HILLCREST RD	COUNTY

Value Summary					
Code Area	RMV	MAV	AV	RMV Exception	CPR %
2209	Land 163,020		Land	0	
	Impr 0		Impr	0	
Code Area Total	163,020	104,140	104,140	0	
Grand Total	163,020	104,140	104,140	0	

Land Breakdown									
Code Area	ID #	RFPD	Ex	Plan Zone	Value Source	Trend %	Size	Land Class	Trended RMV
2209	0			NESKR-1	Market	114	0.18 AC		163,020
Code Area Total							0.18 AC		163,020

Improvement Breakdown									
Code Area	ID #	Year Built	Stat Class	Description	Trend %	Total Sqft	Ex%	MS Acct	Trended RMV

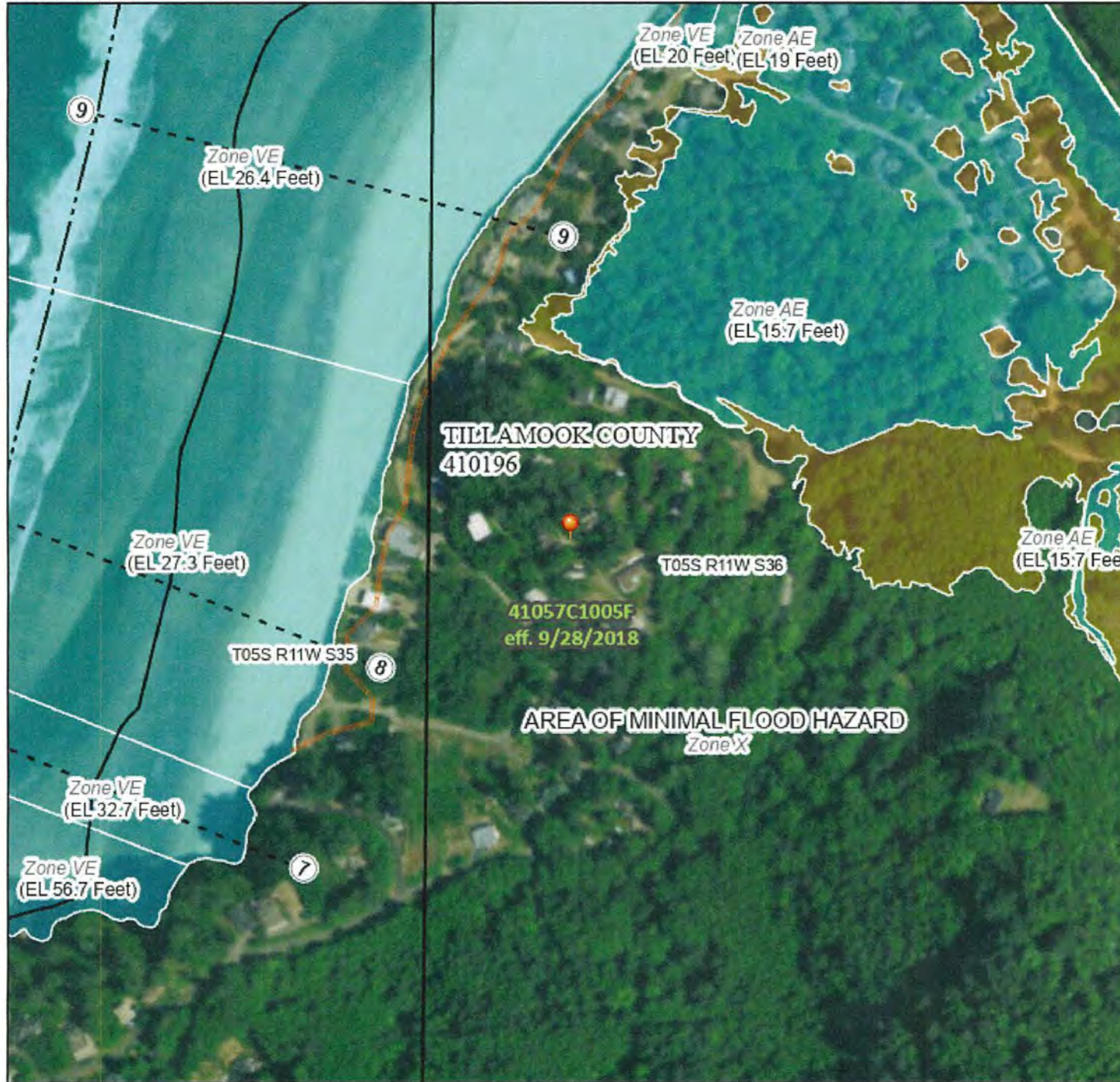
Exemptions / Special Assessments / Notations				
Code Area	2209			
Fire Patrol				
■ FIRE PATROL NORTHWEST		Amount	Acres	Year
		18.75	0.18	2023
Fire Patrol		Amount	Acres	Year
■ FIRE PATROL SURCHARGE		0.00		2023

Comments 04/17/14 Reappraised land; tabled values. RBB

National Flood Hazard Layer FIRMMette



123°59'27"W 45°5'58"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- SPECIAL FLOOD HAZARD AREAS**
 - Without Base Flood Elevation (BFE)
Zone A, V, A99
 - With BFE or Depth
Zone AE, AO, AH, VE, AR
 - Regulatory Floodway

 - OTHER AREAS OF FLOOD HAZARD**
 - 0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile
Zone X
 - Future Conditions 1% Annual Chance Flood Hazard
Zone X
 - Area with Reduced Flood Risk due to Levee. See Notes.
Zone X
 - Area with Flood Risk due to Levee
Zone D

 - OTHER AREAS**
 - NO SCREEN Area of Minimal Flood Hazard
Zone X
 - Effective LOMRs
 - Area of Undetermined Flood Hazard
Zone

 - GENERAL STRUCTURES**
 - Channel, Culvert, or Storm Sewer
 - Levee, Dike, or Floodwall

 - OTHER FEATURES**
 - Cross Sections with 1% Annual Chance Water Surface Elevation
20.2
17.5
 - Coastal Transect
 - Base Flood Elevation Line (BFE)
 - Limit of Study
 - Jurisdiction Boundary
 - Coastal Transect Baseline
 - Profile Baseline
 - Hydrographic Feature

 - MAP PANELS**
 - Digital Data Available
 - No Digital Data Available
 - Unmapped
- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards












The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 3/28/2024 at 7:00 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

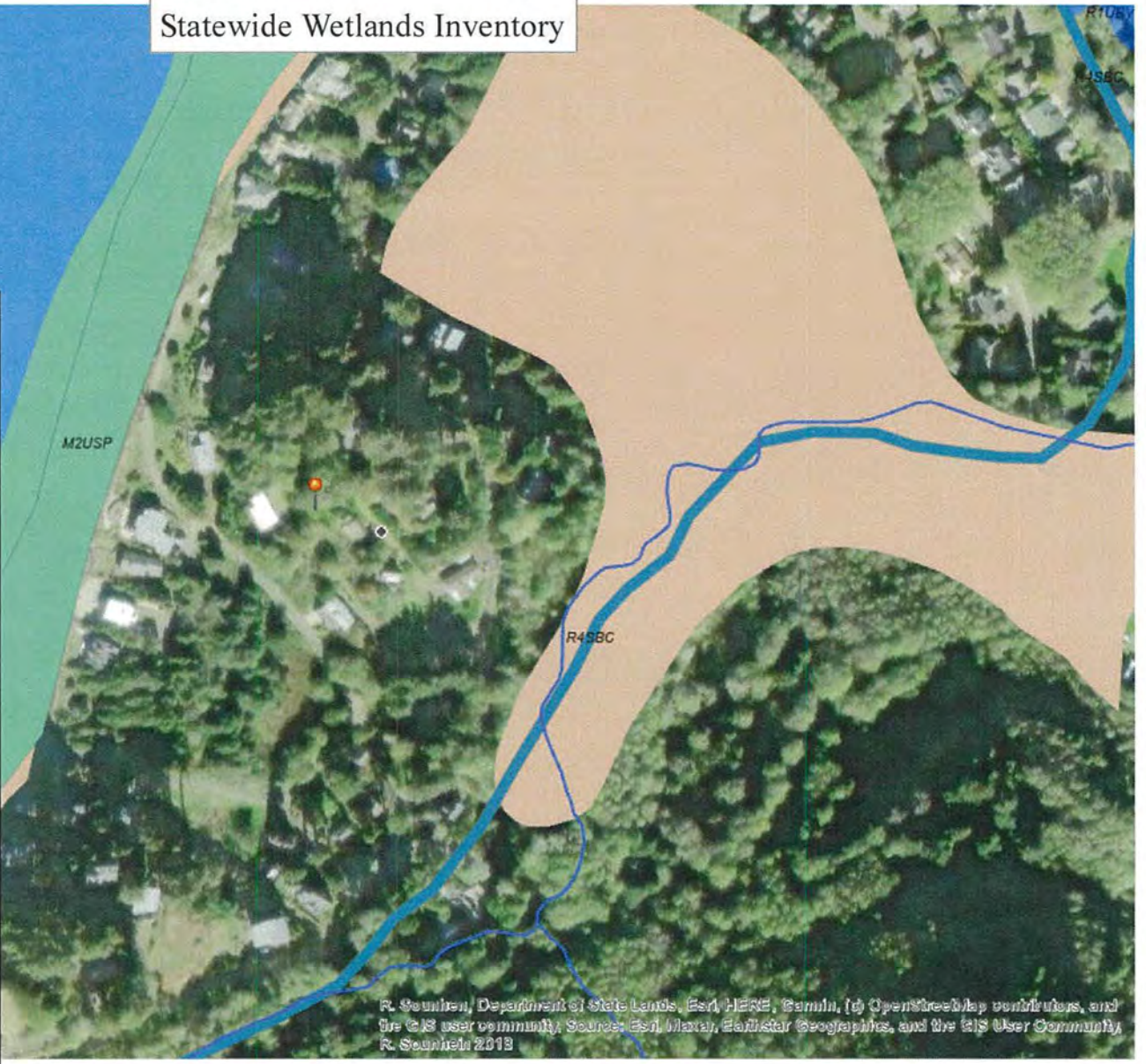
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



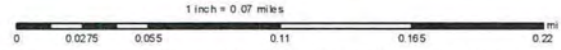
123°58'49"W 45°5'33"N

Statewide Wetlands Inventory

-  Townships
-  LVM Study Area
-  BASEDAT.DBO.NHDPPoint
- BASEDAT.DBO.NHDFlowline**
-  Perennial
-  Intermittent
-  Ephemeral
-  Unknown
-  Canal/Ditch
-  BASEDAT.DBO.NHDArea
-  BASEDAT.DBO.NHDWaterbody
- Wetlands**
-  Estuarine and Marine Deepwater
-  Estuarine and Marine Wetland
-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond
-  Lake
-  Riverine
-  SWI Predominantly Hydric Soil Map Units
-  SWI Agate-Winlo Soils



R. Seunnen, Department of State Lands, Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, R. Seunnen 2018



The Statewide Wetlands Inventory (SWI) represents the best data available at the time this map was published and is updated as new data becomes available. In all cases, actual field conditions determine the presence, absence and boundaries of wetlands and waters (such as creeks and ponds). An onsite investigation by a wetland professional can verify actual field conditions.

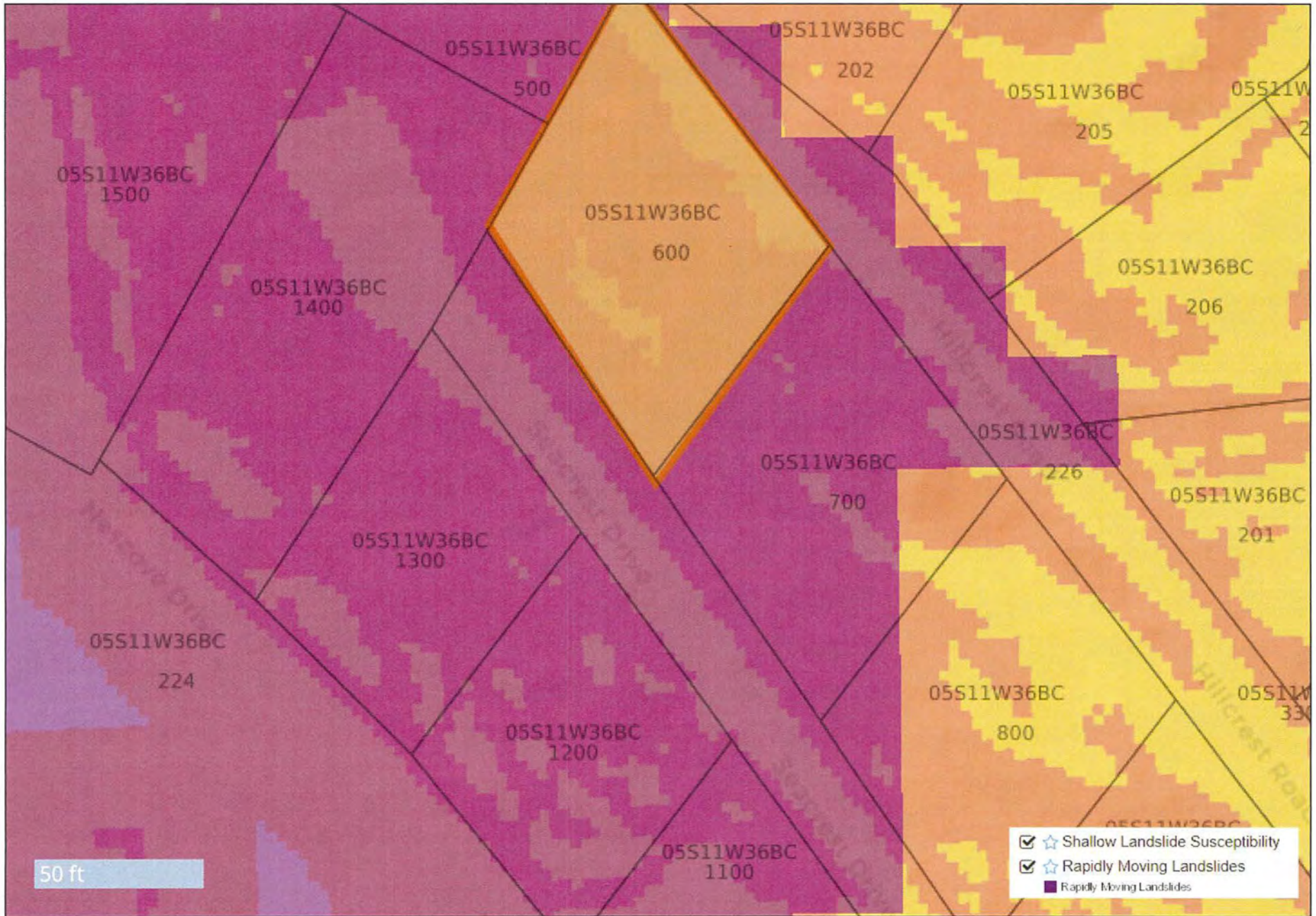


Date: 3/29/2024

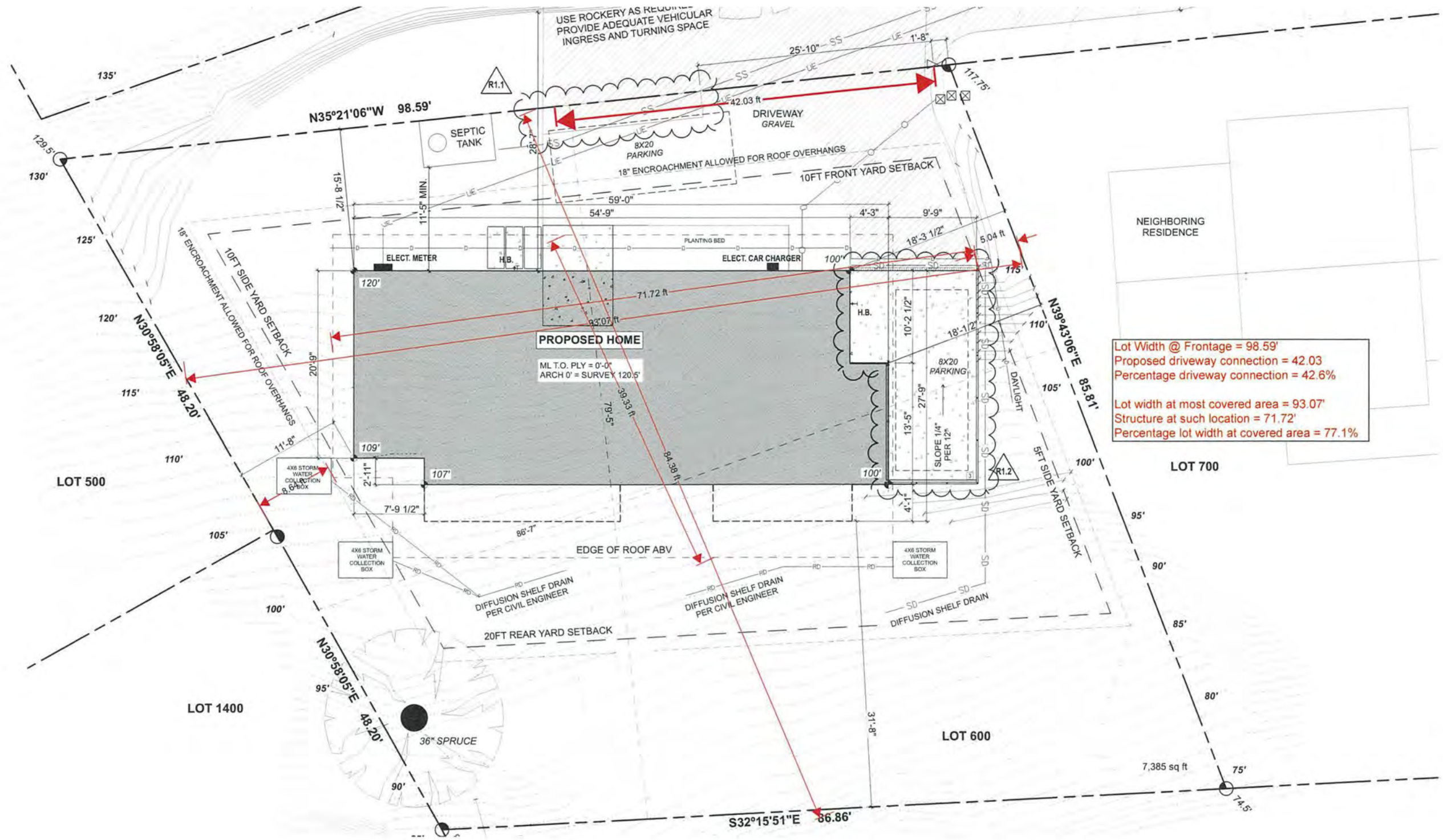


State of Oregon
 Department of State Lands
 775 Summer Street, NE, Ste 100
 Salem, OR 97301-1279
 (503) 986-5200

Hazard Map



Disclaimer: The spatial information hosted at this website was derived from a variety of sources. Care was taken in the creation of these themes, but they are provided "as is". The state of Oregon, or any of the data providers cannot accept any responsibility for errors, omissions, or positional accuracy in the digital data or underlying records. There are no warranties, expressed or implied, including the warranty of merchantability or fitness for a particular purpose, accompanying any of these products. However, notification of any errors would be appreciated. The data are clearly not intended to indicate the authoritative location of property boundaries, the precise shape or contour of the earth or the precise location of fixed works of humans.



Lot Width @ Frontage = 98.59'
 Proposed driveway connection = 42.03
 Percentage driveway connection = 42.6%
 Lot width at most covered area = 93.07'
 Structure at such location = 71.72'
 Percentage lot width at covered area = 77.1%

EXHIBIT

B



PLANNING APPLICATION

Applicant (Check Box if Same as Property Owner)

Name: Lydia Peters, Nathan Good Architects Phone: 503-560-4355

Address: 205 Liberty St NE, Suite B

City: Salem State: OR Zip: 97301

Email: Lydia@NGApc.com

Property Owner

Name: Brian Batchelder and Suzanne Gauen Phone: 503-816-3254

Address: 3932 NE 37th Ave

City: Portland State: OR Zip: 97212

Email: sb@batchelder.org

OFFICE USE ONLY
Date Stamp
RECEIVED
DEC 06 2023 email
<input type="checkbox"/> Approved <input type="checkbox"/> Denied
Received by: LT
Receipt #: 135182
Fees: 1265
Permit No: 851-23-000562-PLNG

Request: Variance request to Max Building Width and Max Driveway Width due to a steeply sloped lot, location at the end of a dead end street, and sub-standard road width and dead end termination severely limiting turnaround space. If the variance is granted, the two required parking spaces will be situated outside of the vehicular turning space.

Type II

- Farm/Forest Review
- Conditional Use Review
- Variance
- Exception to Resource or Riparian Setback
- Nonconforming Review (Major or Minor)
- Development Permit Review for Estuary Development
- Non-farm dwelling in Farm Zone
- Fore-dune Grading Permit Review
- Neskowin Coastal Hazards Area

Type III

- Detailed Hazard Report
- Conditional Use (As deemed by Director)
- Ordinance Amendment
- Map Amendment
- Goal Exception
- Nonconforming Review (As deemed by Director)
- Variance (As deemed by Director)

Type IV

- Ordinance Amendment
- Large-Scale Zoning Map Amendment
- Plan and/or Code Text Amendment

Location:


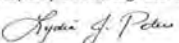
Site Address: 4120 Hillcrest Rd., Neskowin

Map Number:	055	11W	36BC	600
	Township	Range	Section	Tax Lot(s)

Clerk's Instrument #: _____

Authorization

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.

	12-4-23
Property Owner Signature (Required)	Date
	12-4-23
Applicant Signature	Date



January 12, 2023

Tillamook County Community Development
Land Use Planning
1510-B Third Street
Tillamook, OR 97141

RE: Planning Variance for 4120 Hillcrest

The Batchelders, owners of 4120 Hillcrest, are applying for a variance to the Max Building Width requirement and Max Driveway Width requirement in order to build a single car parking pad at the same level as the driveway and adjacent road. We believe the proposed variance satisfies all of the following criteria:

- (1) *Circumstances attributable either to the dimensional, topographic, or hazardous characteristics of a legally existing lot, or to the placement of structures thereupon, would effectively preclude the enjoyment of a substantial property right enjoyed by the majority of landowners in the vicinity, if all applicable standards were to be met. Such circumstances may not be self-created.*

The steep topography of the lot and the adjacent substandard road have made it impossible to park two cars on the property and provide adequate turning space at the road termination. This means not only will the owners have difficulty maneuvering out of their parking spaces, but also all other vehicles (delivery vans, contractors, neighbors, etc.) will not be able to turn around at the end of Hillcrest. In order to avoid having people back down the road, which is quite dangerous, the property owners are willing to let people pull onto their property to make a three point turn.

- (2) *A VARIANCE is necessary to accommodate a use or accessory use on the parcel which can be reasonably expected to occur within the zone or vicinity.*

The variance is needed to allow one of the required parking spaces to move out of the way of the vehicular maneuvering space at the termination of Hillcrest.

- (3) *The proposed VARIANCE will comply with the purposes of relevant development standards as enumerated in Section 4.005 and will preserve the right of adjoining property owners to use and enjoy their land for legal purposes.*

The variance improves access for emergency responders, ensures that expected private uses (in this case, parking) will remain on private land, and increases driver visibility and road safety. The variance will have zero impact on the adjacent property owner's views, solar access, private open space or privacy, or access to adequate light or air.

- (4) *There are no reasonable alternatives requiring either a lesser or no VARIANCE.*

The only alternative is for the road termination to be brought up to current Code, which cannot happen because the road right-of-way is not sufficient.

Lydia Peters, AIA
Project Architect
503-560-4355

Lynn Tone

From: Lydia Peters <Lydia@ngapc.com>
Sent: Tuesday, December 5, 2023 12:59 PM
To: Lynn Tone
Cc: Jaidon Wood
Subject: EXTERNAL: Batchelder Variance Submittal
Attachments: Variance App.pdf; VARIANCE SET.pdf

[NOTICE: This message originated outside of Tillamook County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Hello, Lynn. Attached find an application and supporting drawings for a variance request. I also attached site photos so you can see what we are dealing with. The goal is to add a parking pad and enlarge the gravel area in front of the house so that vehicles can actually turn around at the end of the road.

Please let me know that you received these and feel free to reach out if you have any questions.

Lydia Peters, AIA
503.560.4355



205 Liberty St NE, Suite B
Salem, OR 97301
503.370.4448

www.NathanGoodArchitects.com



PROJECT INFO

Table with 2 columns: PROPOSAL, MAP AND TAXLOT, LEGAL DESCRIPTION, AREA, LOT SLOPE. Content: NEW SINGLE FAMILY RESIDENCE ON SLOPING LOT ACCESSED BY A PRIVATE ROAD...

DEVELOPMENT STANDARDS

Table with 2 columns: JURISDICTION, ZONE, ZONING CODE. Content: TILLAMOOK COUNTY, Rook R-1, TILLAMOOK COUNTY LAND USE ORDINANCE (LUO)

DESIGN REQUIREMENTS (SMALL LOT EXCEPTION)

Table with 2 columns: Front Yard Setback, Side Yard Setback, Rear Yard Setback, Max Height, Max Building Depth, Max Building Width, Min Lot Size. Content: 10', 5', 20', 35', 70% dist. between front and rear lot line, 70% dist. between side lot lines, 8,000 sq ft

Eaves and Chimneys allowed to encroach 18" max into setbacks (LUO 4.110)

BUILDING AREAS

Table with 2 columns: CONDITIONED AREA, UNCONDITIONED AREA. Content: Lower Level 752sf, Main Level 1,342sf, Total SF 2,094sf

OTHER AREAS

Table with 2 columns: Covered Front Porch, Car Park/Concrete/Steel Deck. Content: 46sf, 297sf

GENERAL NOTES

- 1. Site information concerning existing conditions are suitable for preparation of the Drawings and given for convenience to the Contractor. Owner and Architect do not guarantee accuracy of such information... 7. Containment CO detector - smoke detectors to be hardwired with battery backup...

ENERGY & INDOOR AIR QUALITY NOTES

Exterior joints around windows and door frames, openings between walls and foundations, between walls and roof, openings at penetrations of utilities through walls, floors, and roofs, and all other such openings in the building envelope shall be sealed, caulked, gasketed, or weather-stripped to limit air infiltration...

REVISION SCHEDULE

- R1.1 VARIANCE REQUESTED - EXISTING GRAVEL DRIVEWAY WIDTH TO FACILITATE VEHICULAR TURNAROUND AT STREET TERMINATION. R1.2 VARIANCE REQUESTED - WAVE MAX BUILDING WIDTH REQUIREMENT TO CONSTRUCT PARKING PAD...



NE PERSPECTIVE OF ENTRY

LEGAL INCUMBERANCES

Per EAD 384-935 from 1997, 'Hillcrest Rd' is owned by Hill Family Trust 755 SW Cheffersham St, Portland, OR 97239. This is a private road, not a public right-of-way.

SYMBOL LEGEND

Table of symbols and their meanings: SECTION NO., SHEET NO., PARTIAL SECTION, DETAIL REFERENCE, INTERIOR ELEVATION, GRID LINE, MATCH LINE, SPOT ELEVATION, ASSEMBLY MARKER, DOOR MARKER, WINDOW MARKER, DRAWING REVISION.

ENERGY CODE COMPLIANCE

Table with 3 columns: BUILDING COMPONENT, PRESCRIPTIVE REQUIREMENTS, PROVIDED. Content: WINDOWS, SKYLIGHT, EXTERIOR DOORS, EXTERIOR DOORS W>2.5 SQ FT GLAZING, SLAB-EDGE PERIMETER, HEATED SLAB INTERIOR, UNDERFLOORS, BELOW GRADE WALL INSULATION, ABOVE GRADE WALL INSULATION, FLAT CEILING INSULATION, VAULTED CEILING INSULATION.

ABBREVIATIONS

Table of abbreviations and their meanings: ABV ABOVE, ACT ACUSTIC CEILING TILE, ADJ ADJACENT, ADR AREA OF REFUGE, AGG AGGREGATE, AFF ABOVE FINISHED FLOOR, ALT ALTERNATE, ARCH ARCHITECTURAL, BM BEAM, BRG BEARING, BO BOARD, BO BOTTOM OF BLDG, CAB CABINET, CFM CUBIC FEET PER MINUTE, CL CENTERLINE, CLR CLEAR, CLST CLOSET, CMU CONCRETE MASONRY, COL COLUMN, CONC CONCRETE, CJ CONSTRUCTION JOINT, COAT COAT, DET DETAIL, DIA DIAMETER, DIM DIMENSION, DW DRAIN, DW DOWN, DR DOWNSPOUT, DS DOWNSPOUT, EX EXISTING, SA SACH, ELEV ELEVATION, EQ EQUAL, EXP EXPANSION JOINT, EXT EXTERIOR, FOC FACE OF CONCRETE, FOS FACE OF STUD, FPF FACE OF FINISH, FN FINISH, FD FLOOR DRAIN, FDN FOUNDATION, FT FOOT/FEET, FTD FOOTING, GA GAUGE, GALV GALVANIZED, GC GENERAL CONTRACTOR, GR GRADE, GLB GLU LAMINATED BEAM, GWB GYPSUM WALLBOARD, HB HOSE BBB/WALL, HD HYDRANT/SILL COCK, HWRE HARDWARE, HD HEAD, HRF HEAT RECOVERY VENTILATOR, HVAC HEATING, VENTILATION, AIR CONDITIONING, HT HEIGHT, ID INSIDE DIAMETER, INSUL INSULATION, INT INTERIOR, LAM LAMINATE, LAV LAVATORY, MFG MANUFACTURER, MO MASONRY OPENING, MTL METAL, MAX MAXIMUM, MECH MECHANICAL, MIN MINIMUM, MISC MISCELLANEOUS, NIC NOT IN CONTRACT, NA NOT APPLICABLE, NTS NOT TO SCALE, OC ON CENTER, OPPOSITE OPPOSITE, OPH OPPOSITE HAND, OD OPPOSITE DIAMETER, PER PERFORATED, PL PLATE, PLY PLYWOOD, REF REFER TO, REQ REQUIRED, RM ROOM, ROUGH ROUGH OPENING, RO SANITARY, SEC SECTION, SEW SEWER, SH SHEET, SM SIMILAR, SD SHEET METAL, SPEC SPECIFICATION, SQ SQUARE, STD STANDARD, SS STAINLESS STEEL, STC SOUND TRANSMISSION CLASS, STD STANDARD, STL STEEL, STR STRUCTURE (AL)

ADDITIONAL MEASURE

3 ACH AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION. Achieve a maximum of 3.0 ACH50 whole-house air leakage when third-party tested and provide a whole-house ventilation system including heat recovery with a minimum sensible heat recovery efficiency of not less than 66 percent.

PROJECT DIRECTORY

Table listing project directory contacts: CLIENT (BRIAN BATCHELDER & SUZANNE GAUEN), ARCHITECT (LYDIA PETERS, AIA), STRUCTURAL ENGINEER (JAMES DINARDO), GEOTECHNICAL ENGINEER (ADAM LARGE), CONTRACTOR (CELLAR RIDGE CONSTRUCTION), SURVEYOR (S&F LAND SERVICES), CIVIL ENGINEER (JASON MORGAN).



VICINITY MAP

SHEET INDEX

Table of sheet index: A0.0 GENERAL INFO, A0.1 SURVEY, A0.2 SITE PLAN, A0.3 DRAINAGE PLAN, A1.1 FOUNDATION LAYOUT PLAN, A1.2 LOWER LEVEL FLOOR PLAN, A1.3 MAIN LEVEL FLOOR PLAN, A1.4 ROOF PLAN, A2.1 ELEVATIONS, A2.2 ELEVATIONS, A3.1 SECTIONS, A3.2 SECTIONS, A4.1 ASSEMBLIES, A4.2 1-1/2" DETAILS, A4.3 1-1/2" DETAILS, A4.4 1-1/2" DETAILS, A4.5 3" DETAILS, A5.1 LOWER LEVEL LIGHTING & ELECTRICAL PLANS, A5.2 MAIN LEVEL LIGHTING & ELECTRICAL PLANS, A6.1 INTERIOR ELEVATIONS, A6.2 INTERIOR ELEVATIONS, A6.3 INTERIOR ELEVATIONS, A7.1 SCHEDULES, S1.0 FOUNDATION PLAN, S1.1 FOUNDATION DETAILS, S2.0 LOWER FLOOR FRAMING PLAN, S3.0 UPPER FLOOR FRAMING PLAN, S4.0 ROOF FRAMING PLAN, S5.0 LOWER FLOOR SHEAR WALL PLAN, S6.0 UPPER FLOOR SHEAR WALL PLAN, S7.0 MOMENT FRAME DETAILS, S8.0 BRACE FRAME DETAILS.

Project title block: NATHAN GOOD ARCHITECTS, 205 Liberty St NE Suite B Salem, OR 97301. Includes logo for Registered Architect Nathan Good, State of Oregon. Project name: BATCHELDER/GAUGEN RESIDENCE. Status: PERMIT 08/14/23, CONSTRUCT. 10/27/23, R1 & R2 12/04/23. Drawn by: LF. Scale: A0.0 GENERAL INFO.

TOPOGRAPHIC SURVEY
 FOR SUZANNE GAUEN
 OF A TRACT OF LAND DESCRIBED IN BOOK 218,
 PAGE 279, TILLAMOOK COUNTY RECORDS
 SOUTHWEST 1/4 OF THE NORTHWEST 1/4 IN
 SECTION 36, TOWNSHIP 5 SOUTH, RANGE 11 WEST
 OF THE WILLAMETTE MERIDIAN
 CITY OF NESKOWIN, TILLAMOOK COUNTY, OREGON



VICINITY MAP
(NOT TO SCALE)

VERTICAL DATUM:

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

NOTES:

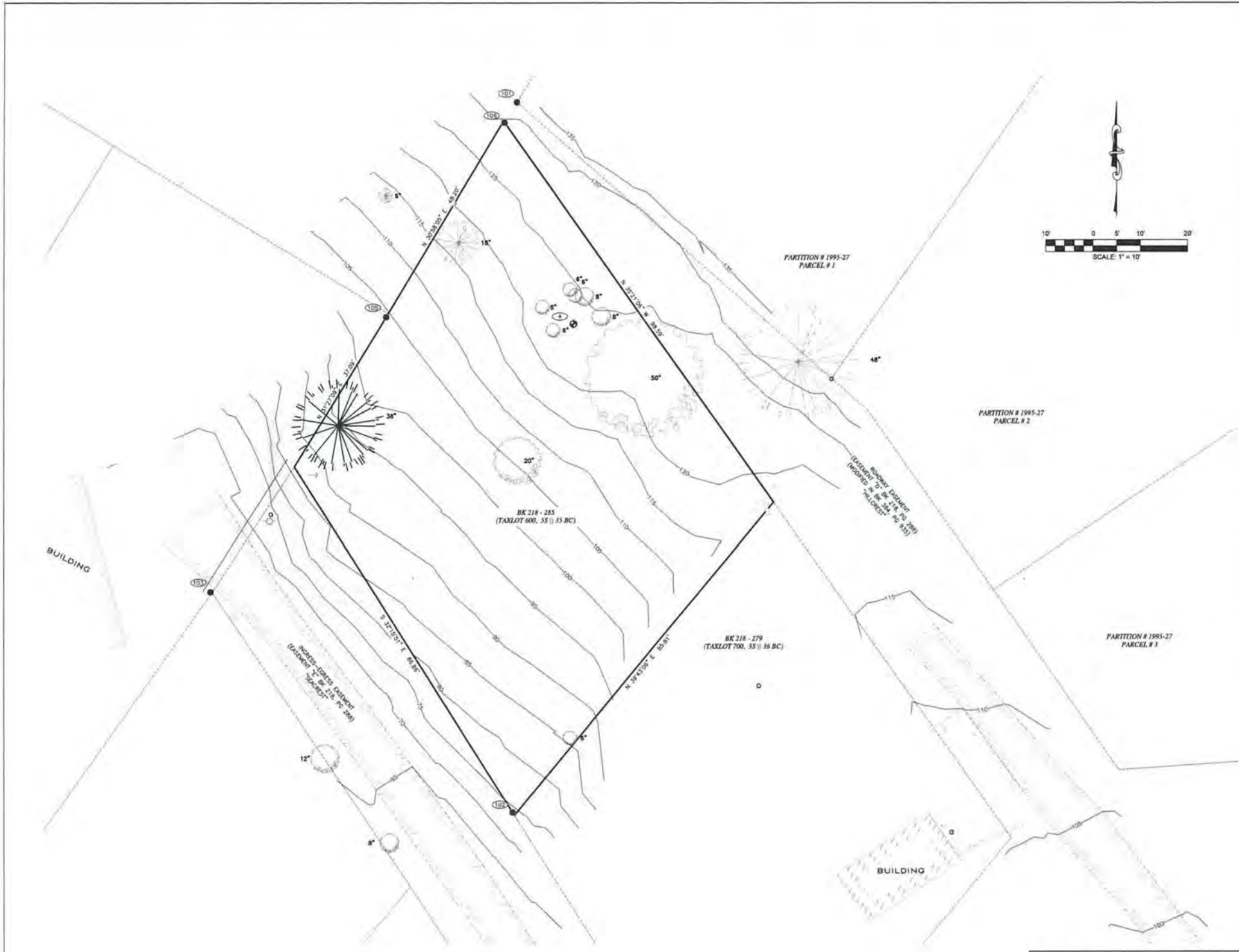
1. FIELD WORK WAS COMPLETED ON SEPTEMBER 30, 2021.
2. THE PURPOSE OF THIS SURVEY IS TO GRAPHICALLY DEPICT THE EXISTING CONDITIONS, CONTOURS AND IMPROVEMENTS OF THE SUBJECT PROPERTY.

MONUMENT NOTES:

- ⑩ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP
- ⑪ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP
- ⑫ FOUND 5/8" IRON ROD WITH NO CAP
- ⑬ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP
- ⑭ FOUND 5/8" IRON ROD, BENT SOUTHERLY
- ⑮ SET 5/8" IRON ROD WITH RED PLASTIC CAP MARKED "S&F LANDS CONTROL" USED AS PERMANENT SITE BENCHMARK WITH AN ELEVATION OF 124.43' PER NAVD 88

LEGEND

	BOUNDARY LINE
	LOT/PARCEL LINE
	BUILDING
	EDGE OF CONCRETE
	EDGE OF GRAVEL
	MONUMENT NUMBER
	FOUND MONUMENT - 5/8" IRON ROD
	SITE BENCHMARK
	POWER POLE
	GUY ANCHOR
	TREE - DECIDUOUS
	TREE - CONIFER
	WATER METER
	WATER VALVE



S&F Land Services

PORTLAND, VANCOUVER, BEND, SEASIDE

1725 N. ROOSEVELT DR.
 STE. B, SEASIDE, OR 97138
 (503) 738-3425

WWW.SFLANDS.COM DATE: SEP. 30, 2021 JOB NO.: 2021-0442-01 FIELD: TNY/SFE DRAWN: JET CHECKED: JLV

SURVEY FOR:
SUZANNE GAUEN

TRACT OF LAND DESCRIBED IN BOOK 218,
 PAGE 279, TILLAMOOK COUNTY RECORDS
 SW 1/4 OF NW 1/4 SEC 36
 T55N R11W, W.M.
 CITY OF NESKOWIN, TILLAMOOK COUNTY, OREGON

REGISTERED
 PROFESSIONAL
 LAND SURVEYOR

OREGON
 SEPTEMBER 10, 2019
 JACK L. WHITE #
 9188765
 RENEWS 8/30/22

GENERAL SITE PLAN NOTES

MAP AND TAXLOT: 05511W30BC TAXLOT 600
 LEGAL DESCRIPTION: TRACT OF LAND DESCRIBED IN BOOK 218, PAGE 279, TILLAMOOK COUNTY RECORDS
 AREA: 0.17 AC (7385 SQ FT)
 LOT SLOPE: AVERAGE 50% (43 FT ELEVATION CHANGE IN 85.61 FT)

1. SURVEY INCLUDING LOT LINES, TOPOGRAPHY AND LOCATIONS OF TREES AND UTILITIES PROVIDED BY S & F LAND SERVICE
2. PRIOR TO PLACING FILL, REMOVE ALL VEGETATION, ORGANIC SURFACE SOILS, AND DEBRIS.
3. SOME TREES HAVE ALREADY BEEN CLEARED, ALL EXISTING TREES TO REMAIN AS INDICATED.

EROSION CONTROL MEASURES

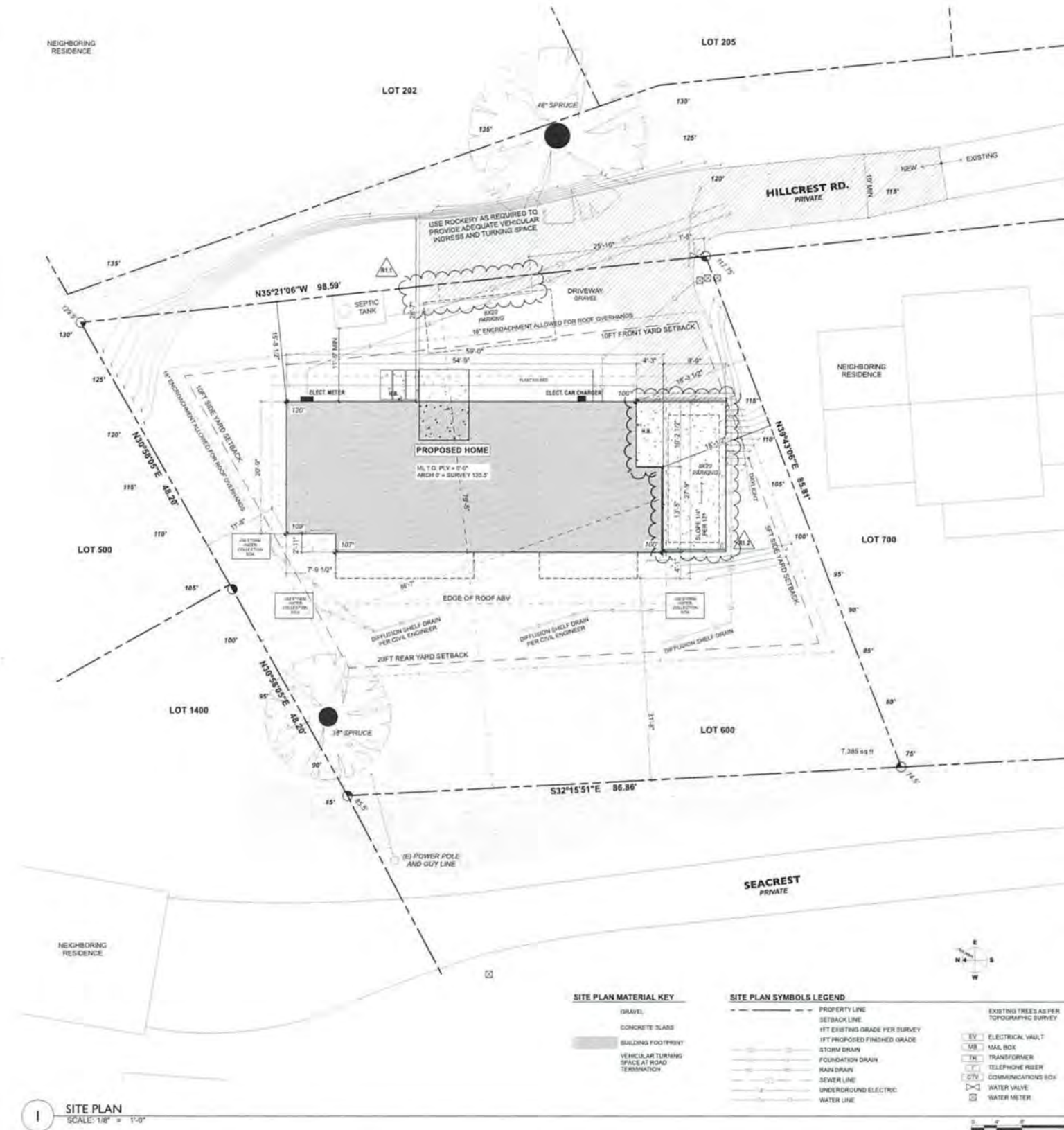
GOAL: No visible and measurable sediment or pollutant shall exit the site, enter the public right-of-way or be deposited into any water body or storm drainage system. Depositing or washing soil into a water body or the storm drainage system is prohibited.
 (SOURCE: Earth Advantage Residential Measures Resource Guide)

Possible options to meet the purpose of this measure, the builder can choose from the following actions:

- Remove any soil that enters the sidewalks, streets and other areas within the public right-of-way through mechanical means other than flushing with water.
- Protect stormwater inlets that are functioning during the course of the development so that sediment-laden water cannot enter the inlets without first being filtered.
- Replace plant cover with species not listed in either the Nuisance or the Prohibited Plant List, as set forth by the local jurisdiction or the State of Oregon.
- Secure or protect soil stockpiles throughout the project with temporary or permanent soil stabilization measures.
- Cover stock piles with weighted plastic or a 3" layer of mulch or straw during wet weather (October 1 - April 30).
- Mark construction limits with sediment fences, berms or construction fencing.
- Install straw wattles or mulch berms where sediment fencing is not practical.
- Install vehicle travel lanes that will serve the site during the entire course of construction.
- Lay rock on the area necessary for contractor parking.
- Coordinate the application of groundcover (straw, mulch, or straw) with landscape plans.
- Protect areas under eaves with heavier material (e.g., straw).
- Stabilize soil as soon as grading is complete.
- Install and maintain catch basin inlets in high traffic areas. Use bio-bags to protect irregular shaped inlets.
- Install sediment retention facilities before grading.
- Perimeter protection to filter sediment shall be located downslope of all disturbed areas and properly installed prior to upslope grading.

SITE DRAINAGE NOTES:

1. CONTRACTOR TO FOLLOW ALL REQUIREMENTS AND RECOMMENDATIONS FOUND IN GEOTECH REPORT FOR THE PROPERTY PREPARED BY HG SCHLICHER & ASSOCIATES.
2. CONTRACTOR TO FOLLOW ALL REQUIREMENTS OF THE CIVIL ENGINEERS DRAINAGE PLAN A0.3.
3. FINAL GRADING TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET. WHERE LOT LINES OR PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO INSURE DRAINAGE AWAY FROM THE STRUCTURE.
4. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.



SITE PLAN
 SCALE: 1" = 10'

SITE PLAN MATERIAL KEY		SITE PLAN SYMBOLS LEGEND	
[Symbol]	GRAVEL	[Symbol]	PROPERTY LINE
[Symbol]	CONCRETE SLABS	[Symbol]	SETBACK LINE
[Symbol]	BUILDING FOOTPRINT	[Symbol]	1 FT EXISTING GRADE PER SURVEY
[Symbol]	VEHICULAR TURNING SPACE AT ROAD TERMINATION	[Symbol]	1 FT PROPOSED FINISHED GRADE
		[Symbol]	STORM DRAIN
		[Symbol]	FOUNDATION DRAIN
		[Symbol]	RAIN DRAIN
		[Symbol]	SEWER LINE
		[Symbol]	UNDERGROUND ELECTRIC
		[Symbol]	WATER LINE
		[Symbol]	EXISTING TREES AS PER TOPOGRAPHIC SURVEY
		[Symbol]	ELECTRICAL VAULT
		[Symbol]	MAIL BOX
		[Symbol]	TRANSFORMER
		[Symbol]	TELEPHONE RISER
		[Symbol]	COMMUNICATIONS BOX
		[Symbol]	WATER VALVE
		[Symbol]	WATER METER

NATHAN GOOD ARCHITECTS
 205 Liberty St NE
 Suite B
 Salem, OR 97301
 503-370-4448
 www.NGarc.com



BATCHELDER/GAUVEN RESIDENCE
 BRIAN BATCHELDER AND SUZANNE GAUVEN
 HILLCREST
 NESKOWIN, OR 97149

STATUS: PERMIT
DATE: 08/14/23
CONSTRUCT: 10/27/23
R1: 12/04/23

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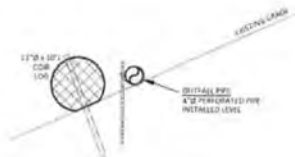
A0.2
 SITE PLAN

NOTES

VEGETATION: CUT ALL VEGETATION TO EXISTING LEVEL AT PIPE AND TRENCH LOCATIONS. USE BEST PRACTICES.

PURPOSE: USE 4" PERFORATED PIPE. CAP PERFORATIONS: INSTALL OUTFALL PERMANENTLY. NO SLOPE. LOCATE OUTFALL PIPE WITH MINIMUM TO BEHIND ON DOWNHILL SIDE AT 3" O.C.

CONSTRUCTION: PLACE CONCRETE DOWNPIPE OR CAST-IRON PIPE. ENSURE NO HUMP UNDER LAYERS. STAKE CONCRETE DOWNPIPE WITH 1/2" WOOD STAKES SET BY 3" O.C.



DIFFUSION SURFACE DRAIN
SCALE: 1/4" = 1'-0"

DISCHARGE PIPE SURFACE DIFFUSION PIPE



MORGAN CIVIL ENGINEERING, INC.
PO BOX 358
MANZANITA, OR 97130
(503) 801-6016
www.morgancivil.com

- CIVIL ENGINEERING
- INSPECTION
- PLANNING

DISCHARGE PIPE DIFFUSION SHELF

DIFFUSION SHELF DRAIN SHALLOW
SCALE: 1/4" = 1'-0"

USE 1/2" O.D. OF PIPE PER 1000 SF OF COLLECTION AREA.

DIFFUSION SHELF DRAIN WITH VEGETATION
SCALE: 1/4" = 1'-0"

DISCHARGE PIPE DIFFUSION SHELF

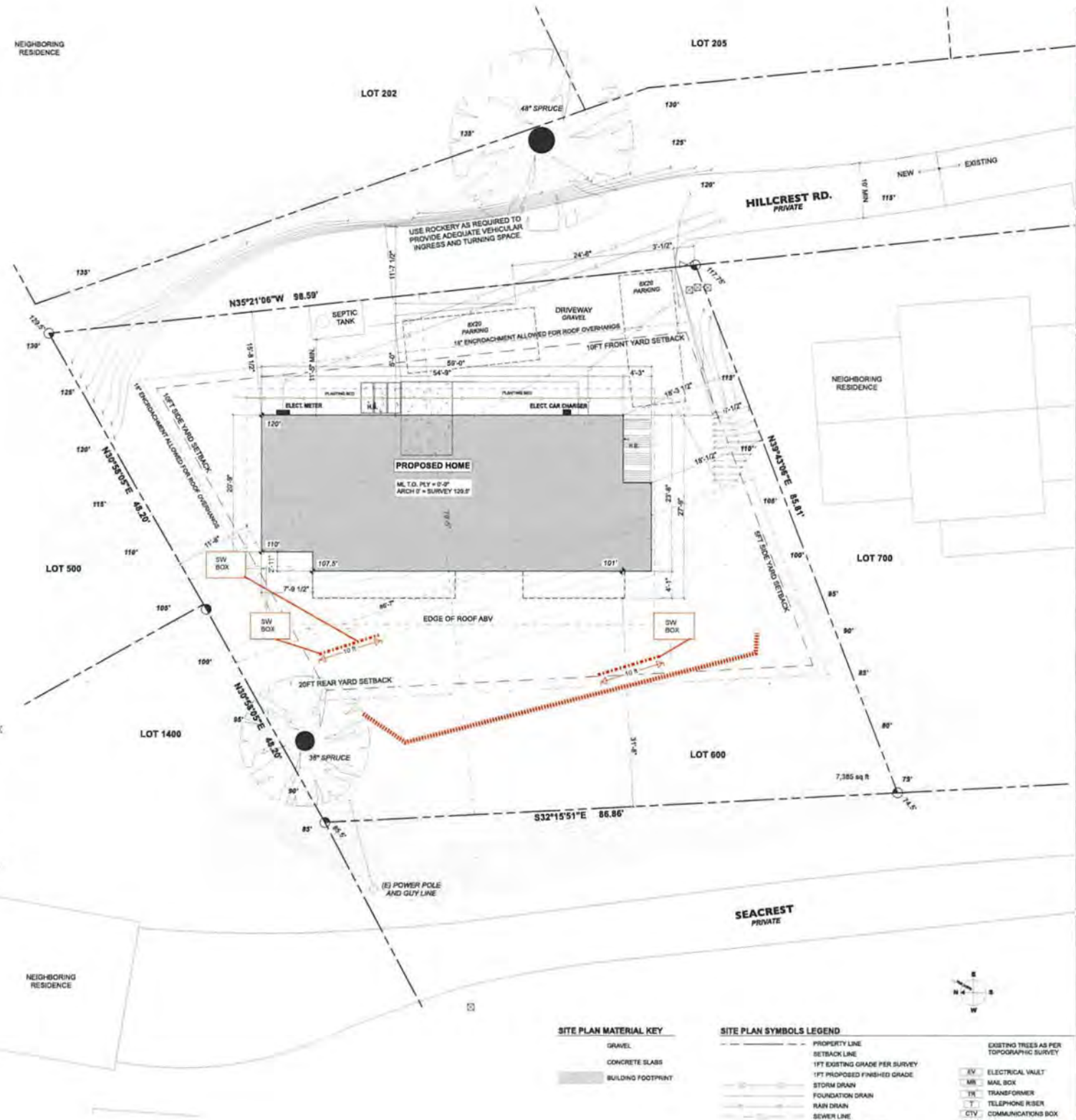


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





- CIVIL ENGINEERING
- INSPECTION
- PLANNING



MORGAN CIVIL ENGINEERING, INC.
PO Box 358, Manzanita, OR 97130
ph: 503-801-6016
www.morgancivil.com



-  STORMWATER COLLECTION BOX
-  DRAIN PIPE, WATER-TIGHT
-  DIFFUSION PIPE OR SHELF SEE DETAILS. CAP ENDS.
-  AREA DRAINS, AS NEEDED (ALT: USE TRENCH DRAIN)
-  FOUNDATION DRAIN EXTEND TO DAYLIGHT
-  SILT FENCING

- SITE PLAN MATERIAL KEY**
-  GRAVEL
 -  CONCRETE SLABS
 -  BUILDING FOOTPRINT
- SITE PLAN SYMBOLS LEGEND**
-  PROPERTY LINE
 -  SETBACK LINE
 -  1FT EXISTING GRADE PER SURVEY
 -  1FT PROPOSED FINISHED GRADE
 -  STORM DRAIN
 -  FOUNDATION DRAIN
 -  RAIN DRAIN
 -  SEWER LINE
 -  UNDERGROUND ELECTRIC
 -  WATER LINE
- EXISTING TREES AS PER TOPOGRAPHIC SURVEY**
-  ELECTRICAL VAULT
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HILLCREST
NESKOWIN, OR 97149

STATUS: RZ
DATE: 10/27/23
12/04/23

DRAWN BY: [Signature]
DATE: 10/27/23

A0.3
DRAINAGE PLAN

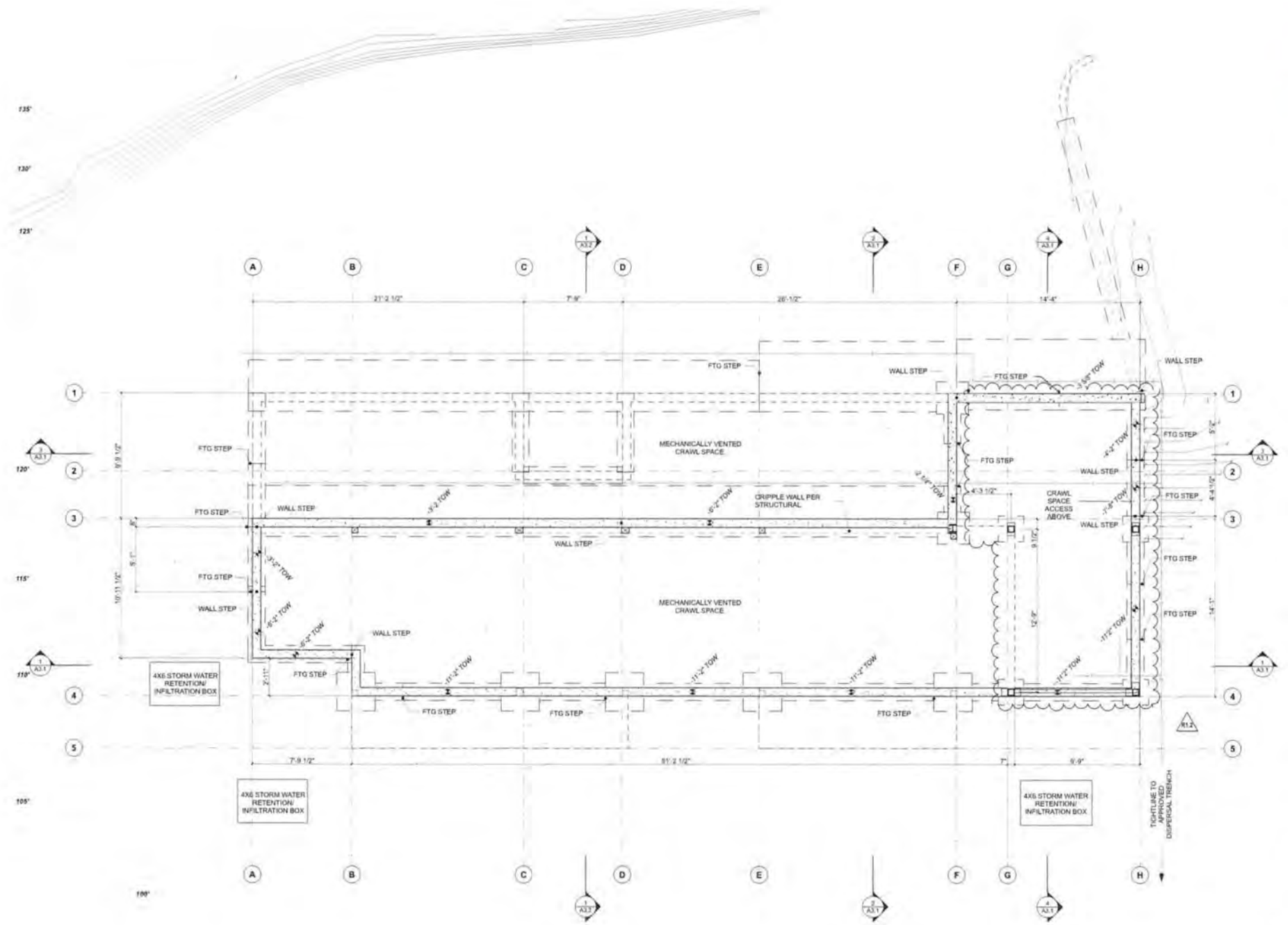
DRAINAGE PLAN
SCALE: 1/8" = 1'-0"

NOTES:

- 1 STAIRS SHALL HAVE A MAXIMUM RISE OF 8" AND MINIMUM RUN OF 10". RISE AND RUN ARE NOT TO VARY MORE THAN 3/8" ON ANY GIVEN STAIR. MINIMUM STAIR WIDTH IS 3'-0" FINISHED. MINIMUM HEADROOM IS 6'-8" FINISHED. TYPICAL FRAMING SHALL BE (3) 2x12 STRINGERS. SEE A4.3
- 2 STAIR RUNS WITH FOUR OR MORE RISERS TO HAVE CONTINUOUS HANDRAIL. ALL HANDRAILS SHALL BE AT 34" ABOVE TREAD NOSING AND CONFORM TO USC HANDGRIP DIMENSIONS. ENSURE 1 1/2" MINIMUM BETWEEN INDEPENDANT HANDRAILS AND ADJACENT WALL OR GUARDRAIL. ENDS SHALL RETURN TO WALL OR NEVEL OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS
- 3 GUARDRAILS SHALL BE AT A MINIMUM OF 34" HIGH FOR STAIR (MEASURED AT NOSING). 36" HIGH FOR ALL HORIZONTAL APPLICATIONS. INTERMEDIATE BARS/BALUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. SEE A4.4
- 4 STUV 30 WOOD BURNING STOVE OR SIMILAR W/OUTSIDE COMBUSTION AIR
- 5 ELECTRIC METER
- 6 HEAT PUMP WATER HEATER W/O OUTDOOR UNIT (RHEEM 65 GAL SHOWN)
- 7 HYDRONIC RADIATOR
- 8 HYDRONIC RADIATOR/TOWEL WARMER ON A THERMOSTAT
- 9 ELECTRICAL PANEL. ENSURE 30" X 36" CLEAR FLOOR SPACE
- 10 MCO INVERTERS INSTALLED WITH PV PANELS
- 11 BATTERY BANK (TESLA POWERWALL SHOWN)
- 12 ELECTRIC BOILER (VISSMEN VITOTRON 100 SHOWN)
- 13 ZEHNDER HRV W/ ZEHNDER COMFOTUBE SUPPLY AND RETURN
- 14 RADIANT HEAT MANIFOLDS
- 15 ELECTRIC CAR CHARGER

KEY:

- 10 V. HARD-WIRED SMOKE AND CARBON MONOXIDE DETECTOR W/ BATTERY AUXILIARY POWER CAPABILITY
- FD FLOOR DRAIN
- HB HOSE BIB WITH FREEZE PROTECTION
- W WALL TYPE MARKER REFER TO A4.1
- DS OR RC DOWNSPOUT OR RAUNCHAIN
- 80CFM BATH/LAUNDRY EXHAUST FAN
- TILE FLOORING



I FOUNDATION LAYOUT REFER TO STRUCTURAL FOUNDATION PLAN S1.0 FOR CONSTRUCTION SPECIFICATIONS AND DETAILS
SCALE 1/4" = 1'-0"

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BATCHELDER/GAUGEN RESIDENCE
BRIAN BATCHELDER AND SUZANNE GAUGEN
HILLCREST
NESKOWIN, OR 97149

STATUS:	DATE:
PERMIT	08/14/23
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R1	12/04/23

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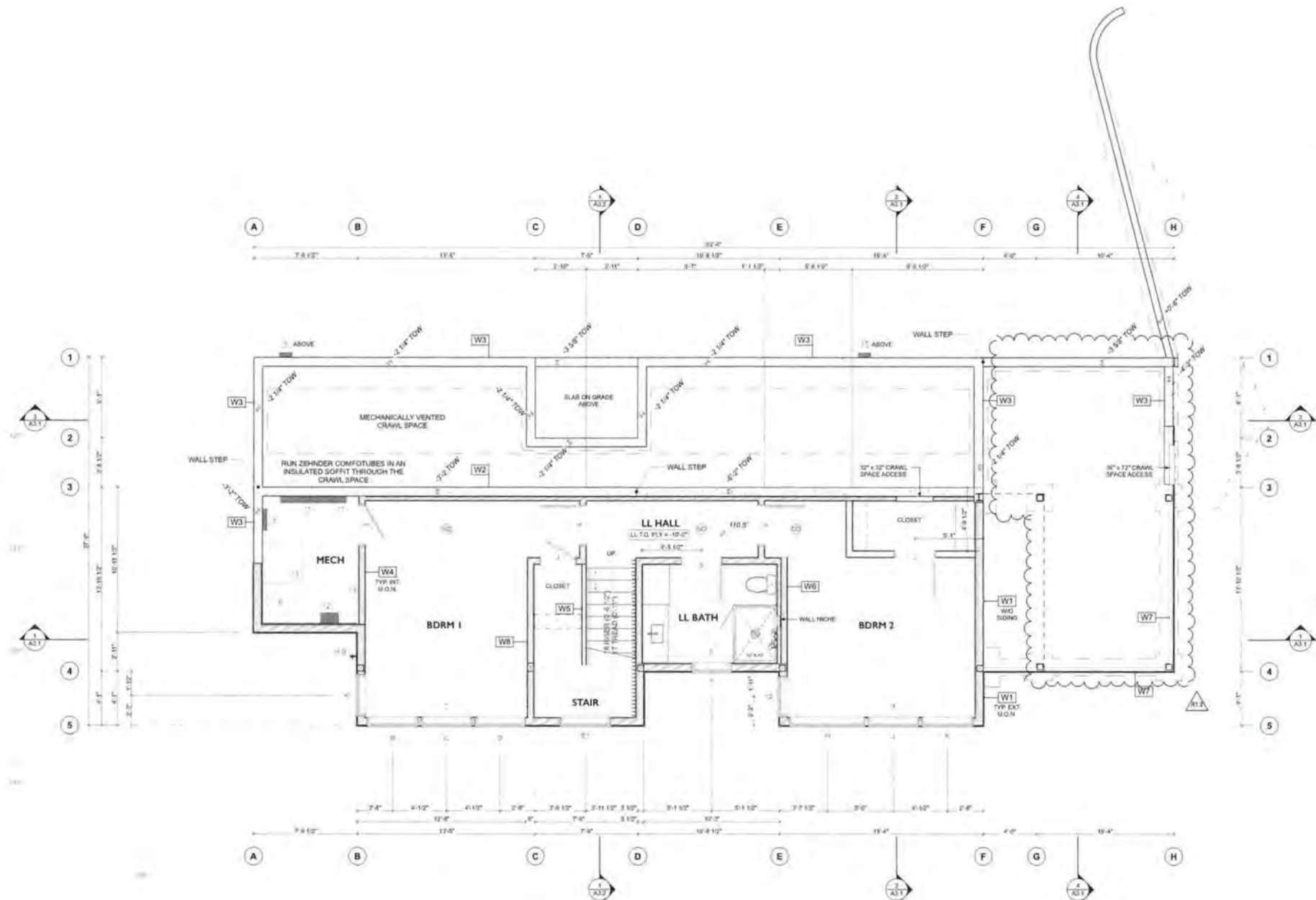
A1.1
FOUNDATION LAYOUT PLAN

NOTES:

- 1 STAIRS SHALL HAVE A MAXIMUM RISE OF 8" AND MINIMUM RUN OF 10". RISE AND RUN ARE NOT TO VARY MORE THAN 3/8" ON ANY GIVEN STAIR. MINIMUM STAIR WIDTH IS 3'-0" FINISHED. MINIMUM HEADROOM IS 6'-8" FINISHED. TYPICAL FRAMING SHALL BE (2) 2x12 STRINGERS. SEE AS 3.
- 2 STAIR RUNS WITH FOUR OR MORE RISERS TO HAVE CONTINUOUS HANDRAIL. ALL HANDRAILS SHALL BE AT 34" ABOVE TREAD NOSING AND CONFORM TO UBC HANDGRIP DIMENSIONS. ENSURE 1 1/2" MINIMUM BETWEEN INDEPENDANT HANDRAILS AND ADJACENT WALL OR GUARDRAIL. ENDS SHALL RETURN TO WALL OR NEWEL OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.
- 3 GUARDRAILS SHALL BE AT A MINIMUM OF 34" HIGH FOR STAIR MEASURED AT NOSING, 36" HIGH FOR ALL HORIZONTAL APPLICATIONS. INTERMEDIATE BARS/BALUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. SEE A4.4.
- 4 STUV 30 WOOD BURNING STOVE OR SIMILAR W/OUTSIDE COMBUSTION AIR.
- 5 ELECTRIC METER.
- 6 HEAT PUMP WATER HEATER W/O OUTDOOR UNIT (RHEEM 65 GAL. SHOWN).
- 7 HYDRONIC RADIATOR.
- 8 HYDRONIC RADIATOR/TOWEL WARMER ON A THERMOSTAT.
- 9 ELECTRICAL PANEL. ENSURE 30" X 36" CLEAR FLOOR SPACE.
- 10 MCO INVERTERS INSTALLED WITH PV PANELS.
- 11 BATTERY BANK (TESLA POWERWALL SHOWN).
- 12 ELECTRIC BOILER (VISSMEN VITOTRDN 100 SHOWN).
- 13 ZEHNDER HRV W/ ZEHNDER COMFOTUBE SUPPLY AND RETURN.
- 14 RADIANT HEAT MANIFOLDS.
- 15 ELECTRIC CAR CHARGER.

KEY:

- Ⓢ 10 V. HARD-WIRED SMOKE AND CARBON MONOXIDE DETECTOR W/ BATTERY AUXILIARY POWER CAPABILITY
- FD FLOOR DRAIN
- HB HOSE BIB WITH FREEZE PROTECTION
- W WALL TYPE MARKER. REFER TO A4.1
- DN OR RC DOWNSPOUT OR RAINCHAIN
- Ⓢ 80CFM BATH/LAUNDRY EXHAUST FAN
- TILE FLOORING



I LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

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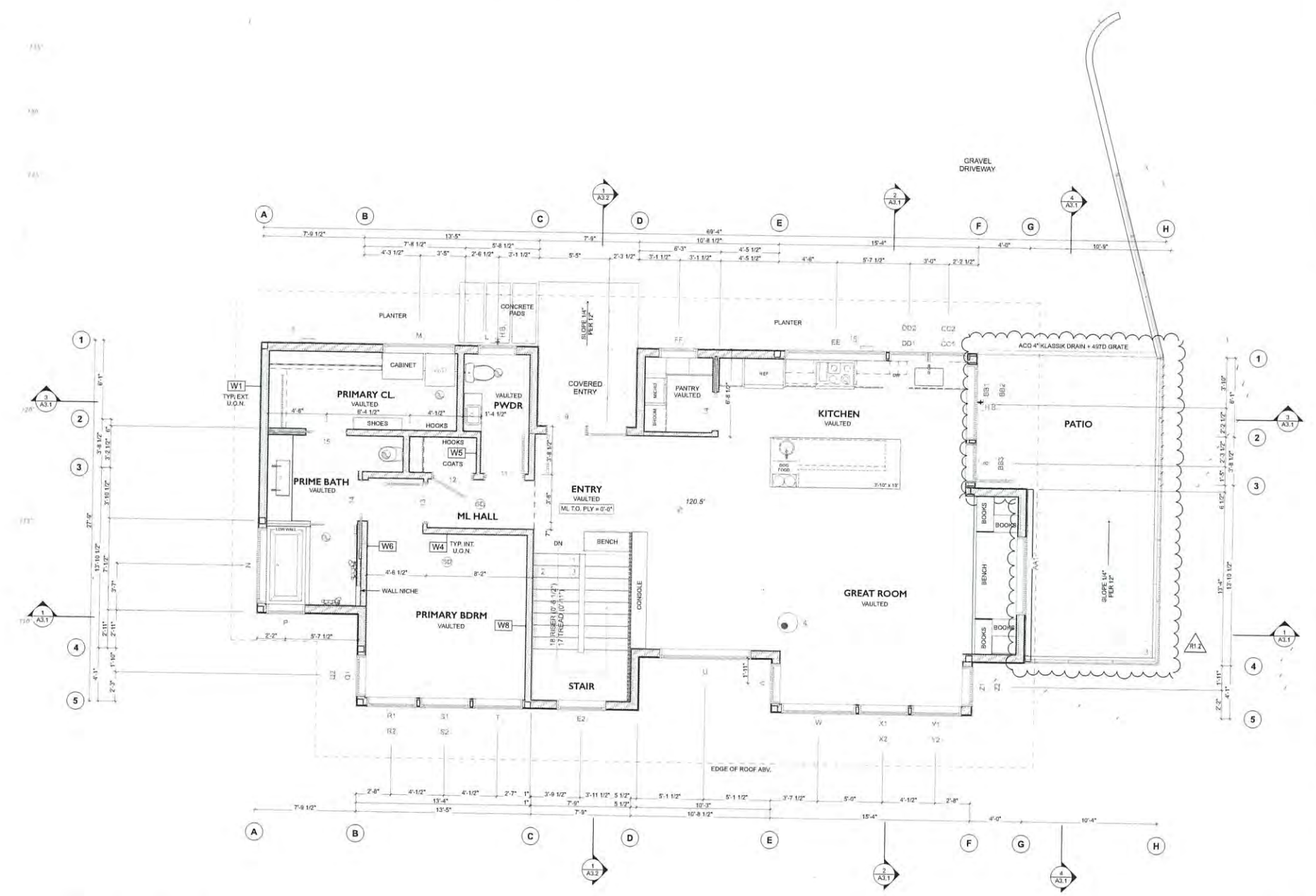
AI.2
LOWER LEVEL FLOOR PLAN

NOTES:

- 1 STAIRS SHALL HAVE A MAXIMUM RISE OF 8" AND MINIMUM RUN OF 10". RISE AND RUN ARE NOT TO VARY MORE THAN 3/8" ON ANY GIVEN STAIR. MINIMUM STAIR WIDTH IS 3'-0" FINISHED. MINIMUM HEADROOM IS 6'-8" FINISHED. TYPICAL FRAMING SHALL BE (3) 2x12 STRINGERS. SEE A3.3
- 2 STAIR RUNS WITH FOUR OR MORE RISERS TO HAVE CONTINUOUS HANDRAIL. ALL HANDRAILS SHALL BE AT 34" ABOVE TREAD NOSING AND CONFORM TO UBC HANDGRIP DIMENSIONS. ENSURE 1 1/2" MINIMUM BETWEEN INDEPENDANT HANDRAILS AND ADJACENT WALL OR GUARDRAIL. ENDS SHALL RETURN TO WALL OR NEWEL OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS
- 3 GUARDRAILS SHALL BE AT A MINIMUM OF 34" HIGH FOR STAIR (MEASURED AT NOSING). 36" HIGH FOR ALL HORIZONTAL APPLICATIONS. INTERMEDIATE BARS/BALUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. SEE A4.4
- 4 STUV 30 WOOD BURNING STOVE OR SIMILAR W/OUTSIDE COMBUSTION AIR
- 5 ELECTRIC METER
- 6 HEAT PUMP WATER HEATER W/O OUTDOOR UNIT (RHEEM 85 GAL. SHOWN)
- 7 HYDRONIC RADIATOR
- 8 HYDRONIC RADIATOR/TOWEL WARMER ON A THERMOSTAT
- 9 ELECTRICAL PANEL. ENSURE 30" X 36" CLEAR FLOOR SPACE.
- 10 MICO INVERTERS INSTALLED WITH PV PANELS
- 11 BATTERY BANK (TESLA POWERWALL SHOWN)
- 12 ELECTRIC BOILER (VISSMEN VITOTRON 100 SHOWN)
- 13 ZEHNDER HRV W/ ZEHNDER COMFOTUBE SUPPLY AND RETURN
- 14 RADIANT HEAT MANIFOLDS
- 15 ELECTRIC CAR CHARGER

KEY:

- 10 V. HARD-WIRED SMOKE AND CARBON MONOXIDE DETECTOR W/ BATTERY AUXILIARY POWER CAPABILITY
- FD. FLOOR DRAIN
- H.B. HOSE BIB WITH FREEZE PROTECTION
- W WALL TYPE MARKER. REFER TO A4.1
- DS OR RC DOWNSPOUT OR RAINCHAIN
- 80CFM BATH/LAUNDRY EXHAUST FAN
- TILE FLOORING



I MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

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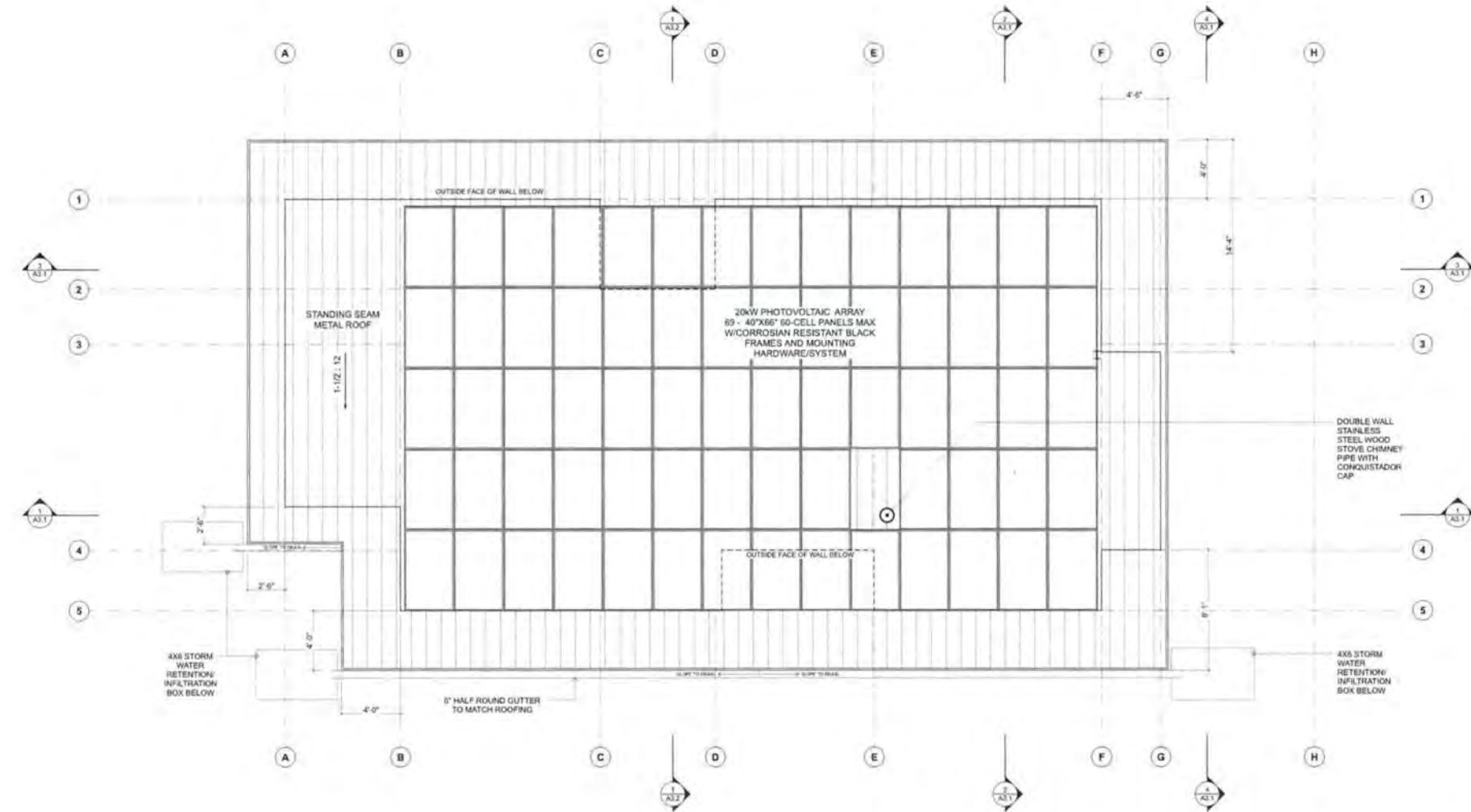
A1.3
MAIN LEVEL FLOOR PLAN

NOTES:

1. STAIRS SHALL HAVE A MAXIMUM RISE OF 8" AND MINIMUM RUN OF 10". RISE AND RUN ARE NOT TO VARY MORE THAN 3/16" ON ANY GIVEN STAIR. MINIMUM STAIR WIDTH IS 3'-0" FINISHED. MINIMUM HEADROOM IS 6'-8" FINISHED. TYPICAL FRAMING SHALL BE (3) 2x12 STRINGERS. SEE A5.3
2. STAIR RUNS WITH FOUR OR MORE RISERS TO HAVE CONTINUOUS HANDRAIL. ALL HANDRAILS SHALL BE AT 34" ABOVE TREAD NOSING AND CONFORM TO UBC HANDGRIP DIMENSIONS. ENSURE 1 1/2" MINIMUM BETWEEN INDEPENDANT HANDRAILS AND ADJACENT WALL OR GUARDRAIL. ENDS SHALL RETURN TO WALL OR NEWEL OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.
3. GUARDRAILS SHALL BE AT A MINIMUM OF 34" HIGH FOR STAIR (MEASURED AT NOSING). 3" HIGH FOR ALL HORIZONTAL APPLICATIONS. INTERMEDIATE BARS/BALLUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH. SEE A4.4
4. STUV 30 WOOD BURNING STOVE OR SIMILAR W/OUTSIDE COMBUSTION AIR
5. ELECTRIC METER
6. HEAT PUMP WATER HEATER W/O OUTDOOR UNIT (RHEEM 65 GAL SHOWN)
7. HYDRONIC RADIATOR
8. HYDRONIC RADIATOR/TOWEL WARMER ON A THERMOSTAT
9. ELECTRICAL PANEL. ENSURE 30" X 36" CLEAR FLOOR SPACE.
10. MICO INVERTERS INSTALLED WITH PV PANELS
11. BATTERY BANK (TESLA POWERWALL SHOWN)
12. ELECTRIC BOILER (VISSMEN VITOTRON 100 SHOWN)
13. ZEHNDER HRV W/ ZEHNDER COMFOTUBE SUPPLY AND RETURN
14. RADIANT HEAT MANIFOLDS
15. ELECTRIC CAR CHARGER

KEY:

- 10 V HARD-WIRED SMOKE AND CARBON MONOXIDE DETECTOR W/ BATTERY AUXILIARY POWER CAPABILITY
- FD. FLOOR DRAIN
- HB. HOSE BIB WITH FREEZE PROTECTION
- W. WALL TYPE MARKER. REFER TO A4.1
- DB OR RC. DOWNSPOUT OR RAINCHAIN
- 80CFM BATH/LAUNDRY EXHAUST FAN
- TILE FLOORING



I ROOF PLAN
SCALE: 1/4" = 1'-0"

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A1.4
 ROOF PLAN

GENERAL NOTES:

- USE CEDAR TRIM BOARDS BETWEEN WINDOWS SPACED LESS THAN 8.5' APART
- ALL EXPOSED FLASHING SHALL BE MARINE GRADE STAINLESS STEEL UNO
- ALL ROOF EDGE FLASHING, GUTTERS & DOWNSPOUTS SHALL BE DARK BRONZE TO MATCH THE ROOFING

KEY NOTES:

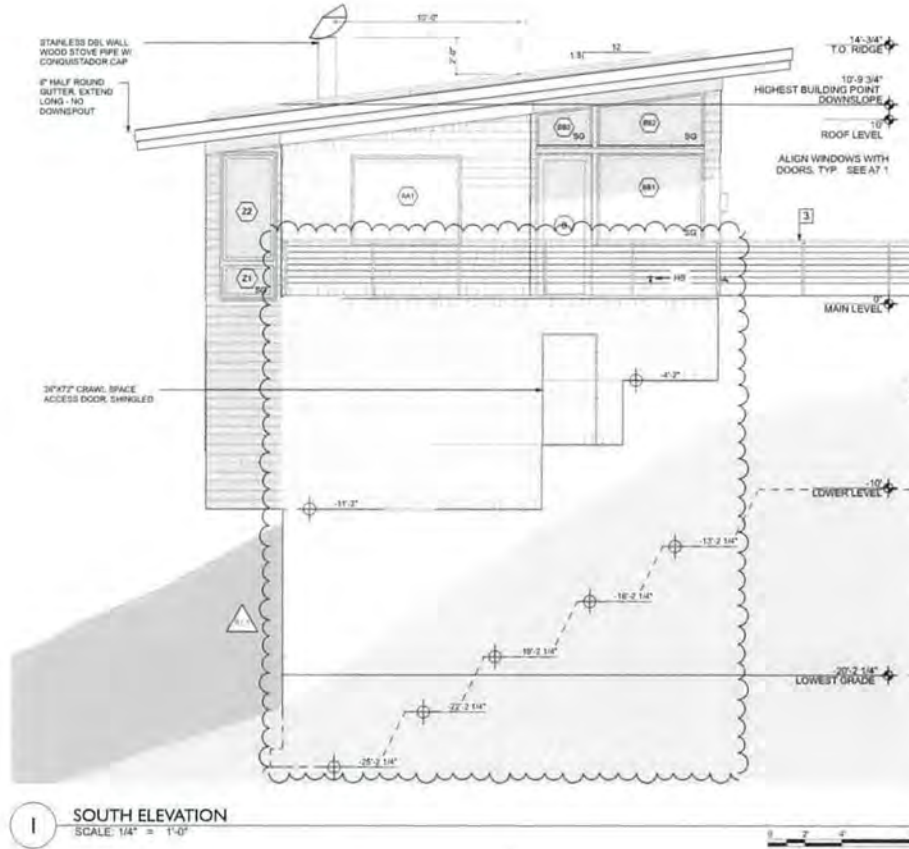
- 1 STAIRS SHALL HAVE A MAXIMUM RISE OF 8" AND MINIMUM RUN OF 10". RISE AND RUN ARE NOT TO VARY MORE THAN 3/8" ON ANY GIVEN STAIR. MINIMUM STAR WIDTH IS 3'-0" FINISHED. MINIMUM HEADROOM IS 6'-8" FINISHED. TYPICAL FRAMING SHALL BE (3) 2x12 STRINGERS. SEE A4.3
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- 4 STUV 30 WOOD BURNING STOVE OR SIMLAR W/OUTSIDE COMBUSTION AIR
- 5 ELECTRIC METER
- 6 HEAT PUMP WATER HEATER W/O OUTDOOR UNIT (RHEEM 65 GAL SHOWN)
- 7 HYDRONIC RADIATOR
- 8 HYDRONIC RADIATOR/TOWEL WARMER ON A THERMOSTAT
- 9 ELECTRICAL PANEL. ENSURE 30" X 36" CLEAR FLOOR SPACE.
- 10 MICO INVERTERS INSTALLED WITH PV PANELS
- 11 BATTERY BANK (TESLA POWERWALL SHOWN)
- 12 ELECTRIC BOILER (VESSMEN VITOTRON 100 SHOWN)
- 13 ZEHNDER HRV W/ ZEHNDER COMFOTUBE SUPPLY AND RETURN
- 14 RADIANT HEAT MANIFOLDS
- 15 ELECTRIC CAR CHARGER

KEY:

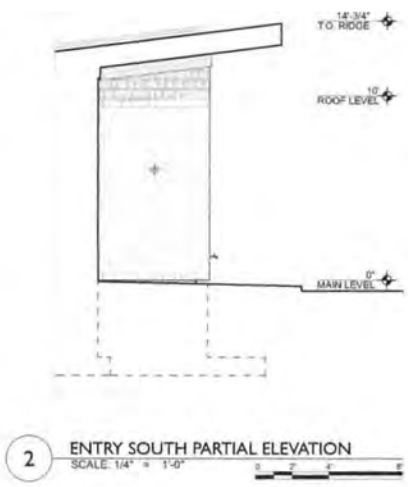
- SD 16 V. HARD-WIRED SMOKE AND CARBON MONOXIDE DETECTOR W/ BATTERY AUXILIARY POWER CAPABILITY
- FD FLOOR DRAIN
- HB HOSE BIB WITH FREEZE PROTECTION
- W WALL TYPE MARKER. REFER TO A4.1

EXTERIOR MATERIAL LEGEND

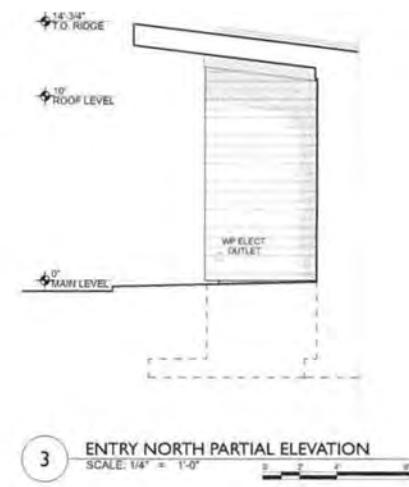
- CONCRETE**
PANEL FORMED WITH INTEGRAL DAVIS COLORANT "GRAPHITE" (860 IRON OXIDE), PENETRATING SEALER
 - CERTIGRADE RED CEDAR SHINGLES**
NUMBER 1 BLUE LABEL, 16" TALL X 5/2", 8" EXPOSURE
NO STAIN, LEFT TO WEATHER NATURALLY
 - WESTERN RED CEDAR SHIPLAP SIDING**
"A" CLEAR TO PIN KNOTS, 1X6 CHANNEL SIDING OR SIM.
NO STAIN, LEFT TO WEATHER NATURALLY
 - STANDING SEAM METAL ROOF**
TAYLOR METAL "VERSA SPAN", 12" PANELS IN DARK BRONZE
- SOFFITS: CEDAR FINELINE T & G COLOR: WEATHERED GRAY
 FASCIA: CEDAR COLOR: WEATHERED GRAY
 EXT WINDOW TRIM: NONE COLOR: WEATHERED GRAY
 WINDOW EXT CLADDING: COLOR: ANDERSEN FIBERGLASS "DARK BRONZE"



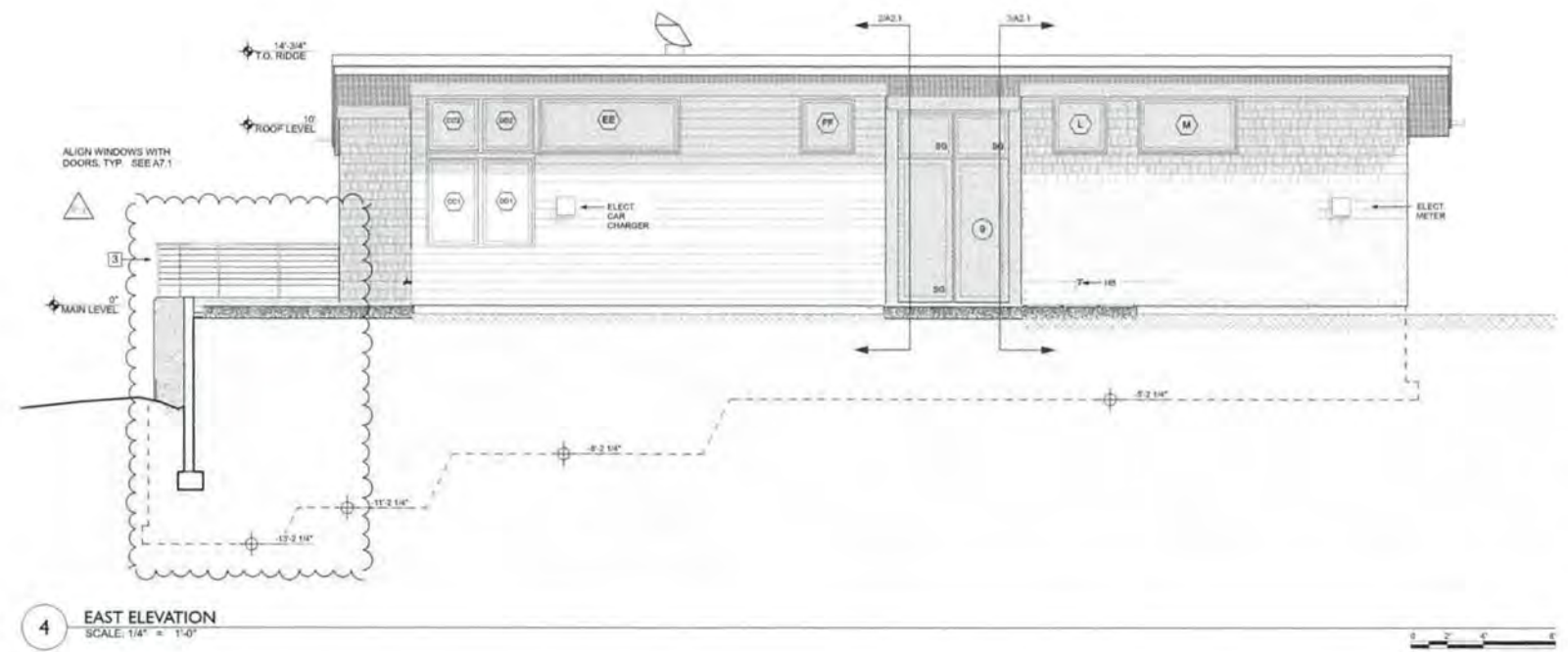
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 ENTRY SOUTH PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"



3 ENTRY NORTH PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"



4 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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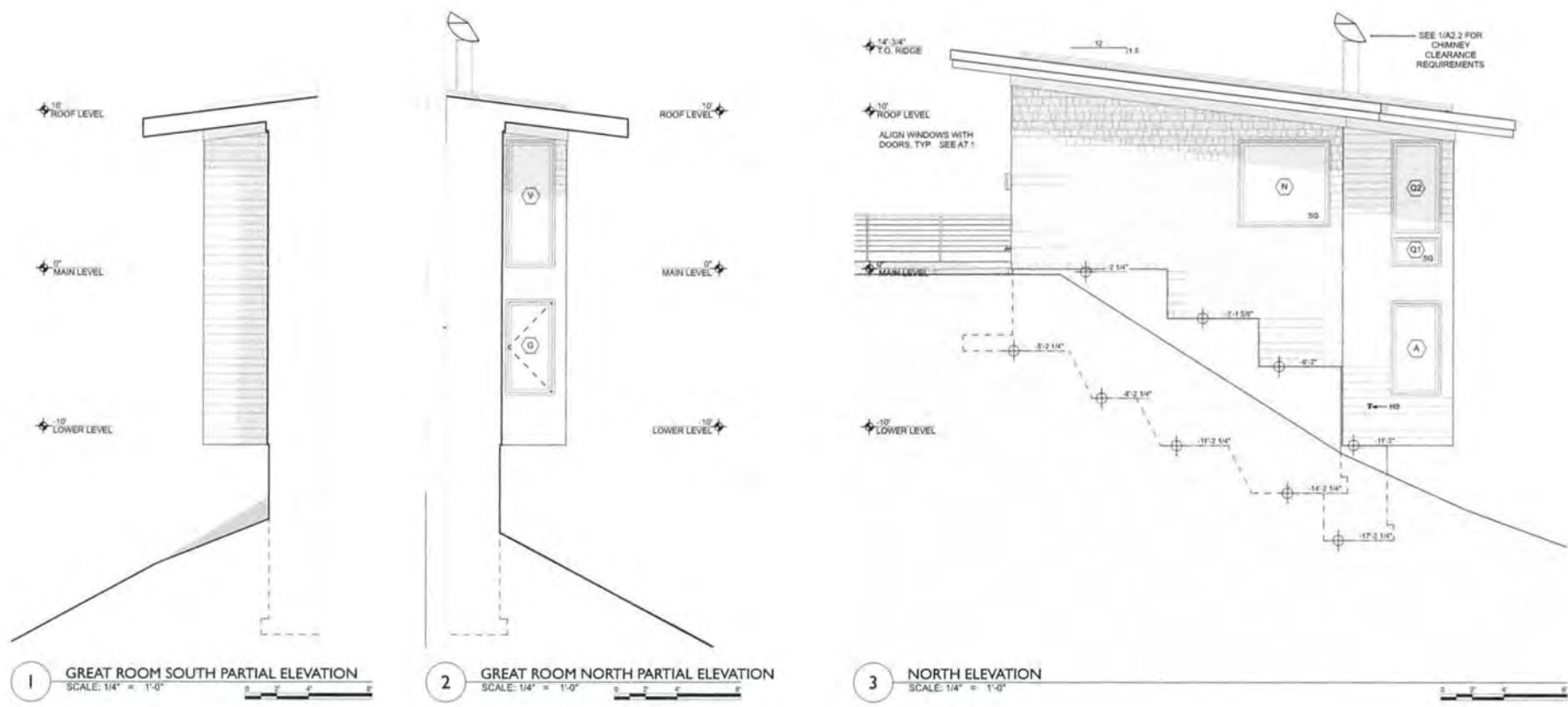


BATCHELDER/GAUVEN RESIDENCE
BRIAN BATCHELDER AND SUZANNE GAUVEN
HILLCREST
NESKOWIN, OR 97149

STATUS: PERMIT R1
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A2.1
ELEVATIONS



GENERAL NOTES:

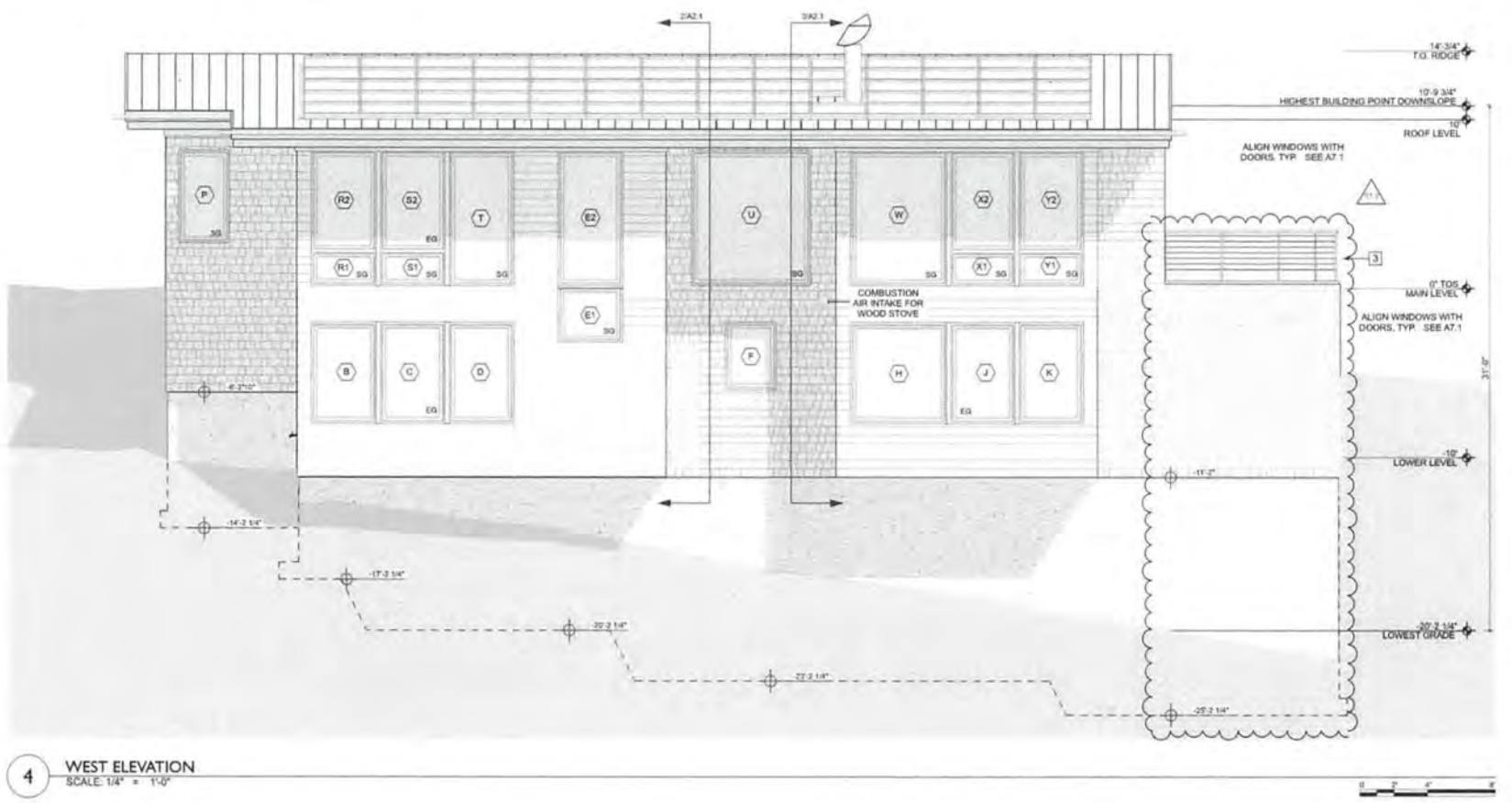
- USE CEDAR TRIM BOARDS BETWEEN WINDOWS SPACED LESS THAN 8.5' APART
- ALL EXPOSED FLASHING SHALL BE MARINE GRADE STAINLESS STEEL UNO
- ALL ROOF EDGE FLASHING, GUTTERS & DOWNSPOUTS SHALL BE DARK BRONZE TO MATCH THE ROOFING

KEY NOTES:

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- 2 STAIR RUNS WITH FOUR OR MORE RISERS TO HAVE CONTINUOUS HANDRAIL. ALL HANDRAILS SHALL BE AT 34" ABOVE TREAD NOSING AND CONFORM TO IBC HANDGRIP DIMENSIONS. ENSURE 1 1/2" MINIMUM BETWEEN INDEPENDANT HANDRAILS AND ADJACENT WALL OR GUARDRAIL. ENDS SHALL RETURN TO WALL OR NEWEL OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS
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- 4 STUV 30 WOOD BURNING STOVE OR SIMILAR W/OUTSIDE COMBUSTION AIR
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- 7 HYDRONIC RADIATOR
- 8 HYDRONIC RADIATOR/TOWEL WARMER ON A THERMOSTAT
- 9 ELECTRICAL PANEL. ENSURE 30" X 36" CLEAR FLOOR SPACE
- 10 MICRO INVERTERS INSTALLED WITH PV PANELS
- 11 BATTERY BANK (TESLA POWERWALL SHOWN)
- 12 ELECTRIC BOILER (VISSMEN VITOTRON 100 SHOWN)
- 13 ZEHNDER HRV W/ ZEHNDER COMFORTUBE SUPPLY AND RETURN
- 14 RADIANT HEAT MANIFOLDS
- 15 ELECTRIC CAR CHARGER

KEY:

- Ⓜ 10 V HARD-WIRED SMOKE AND CARBON MONOXIDE DETECTOR W/ BATTERY AUXILIARY POWER CAPABILITY
- FD FLOOR DRAIN
- HB HOSE BIB WITH FREEZE PROTECTION
- Ⓜ WALL TYPE MARKER, REFER TO A4.1



EXTERIOR MATERIAL LEGEND

- CONCRETE**
PANEL FORMED WITH INTEGRAL DAVIS COLORANT "GRAPHITE" (860 IRON OXIDE), PENETRATING SEALER
 - CERTIGRADE RED CEDAR SHINGLES**
NUMBER 1 BLUE LABEL, 16" TALL X 52", 6" EXPOSURE
NO STAIN, LEFT TO WEATHER NATURALLY
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"A" CLEAR TO PIN KNOTS, 1X6 CHANNEL SIDING OR SIM.
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TAYLOR METAL "VERA SPAN", 12" PANELS IN DARK BRONZE
- SOFFITS: CEDAR FINELINE T & G COLOR: WEATHERED GRAY
 FASCIA: CEDAR COLOR: WEATHERED GRAY
 EXT WINDOW TRIM: NONE COLOR: WEATHERED GRAY
 WINDOW EXT CLADDING: COLOR: ANDERSEN FIBERGLASS "DARK BRONZE"

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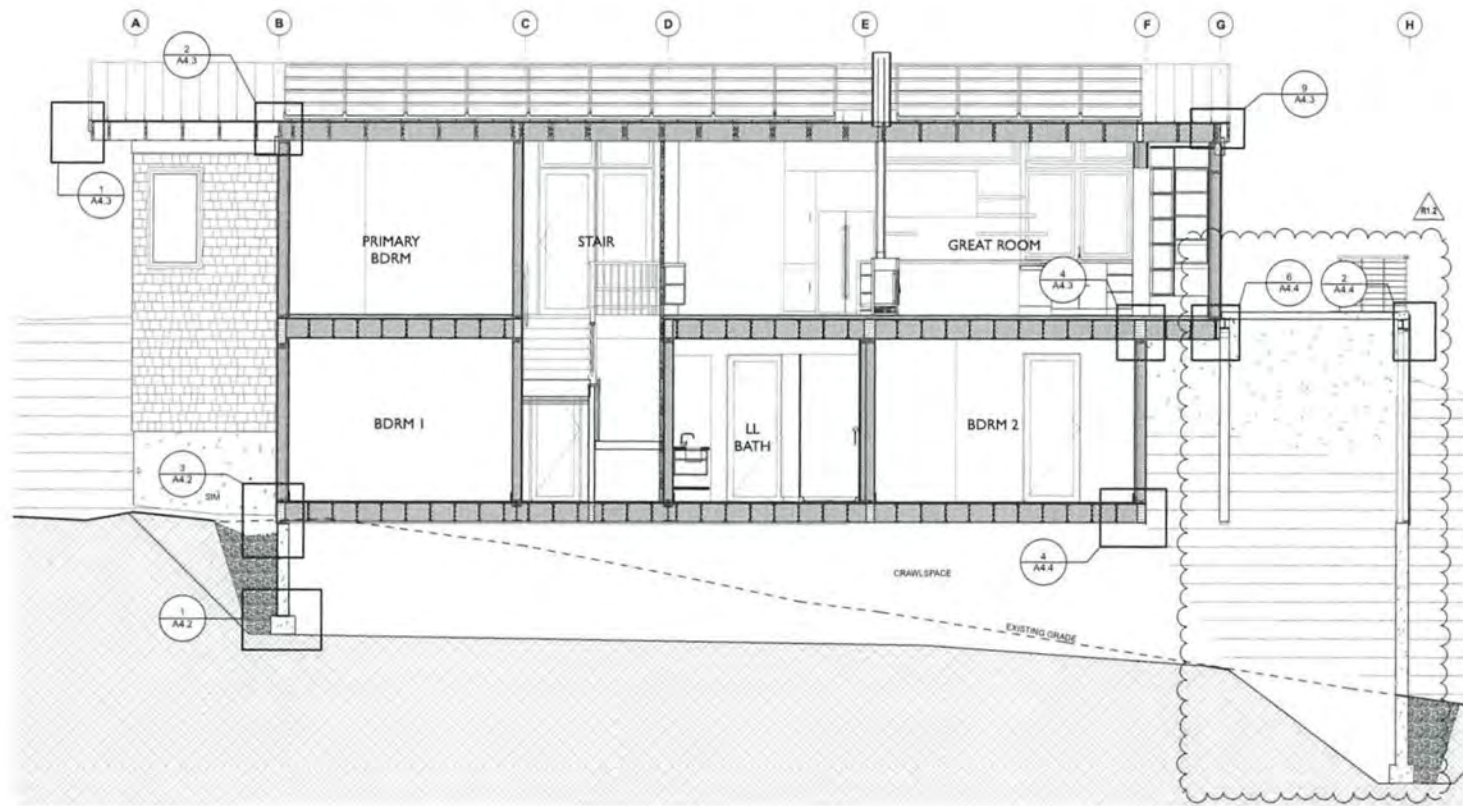


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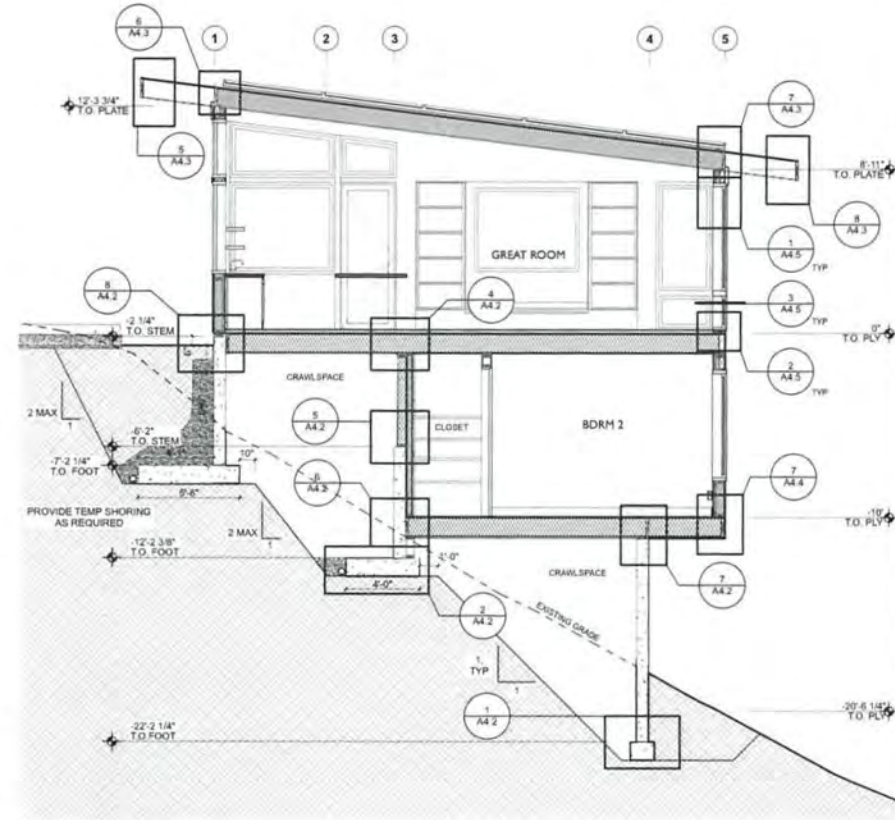
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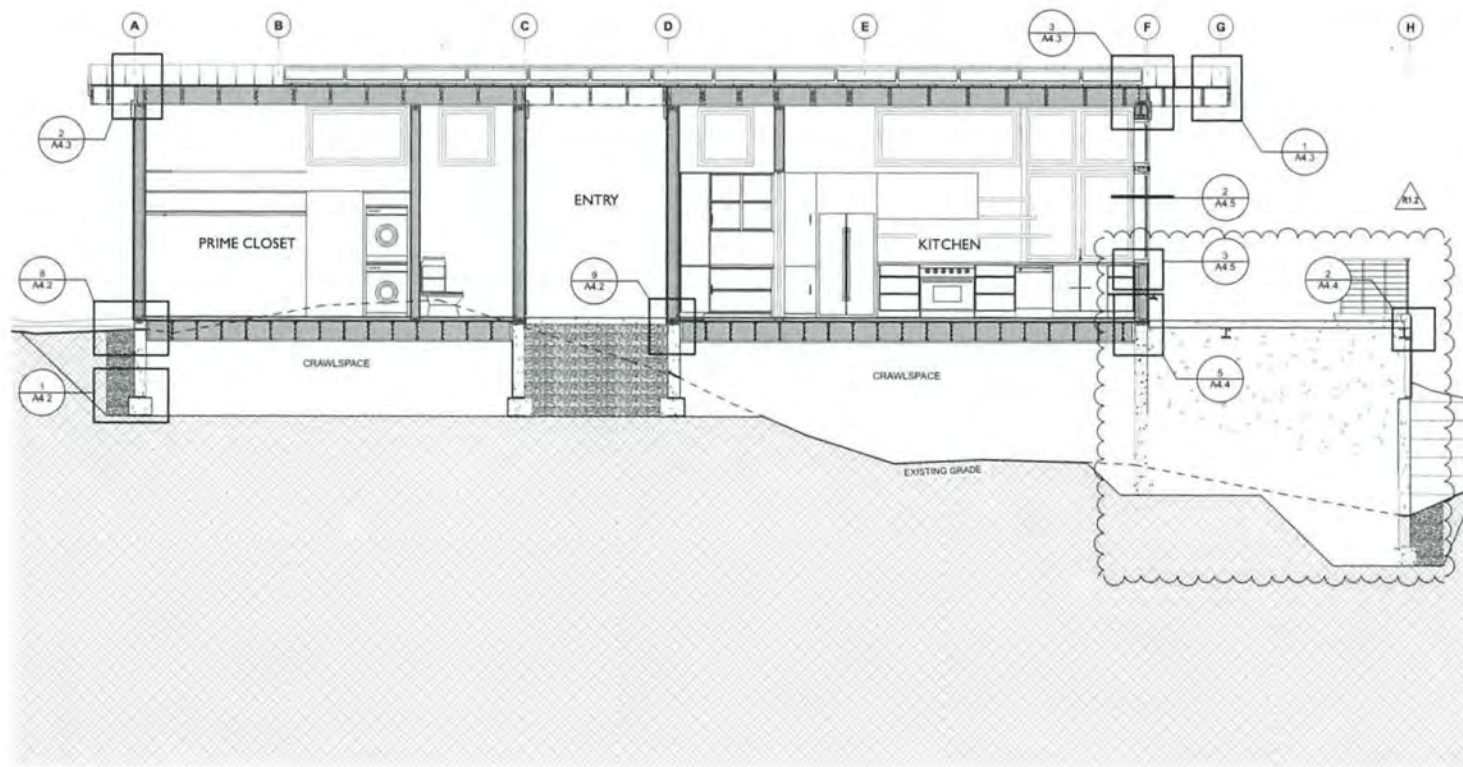
A2.2
 ELEVATIONS



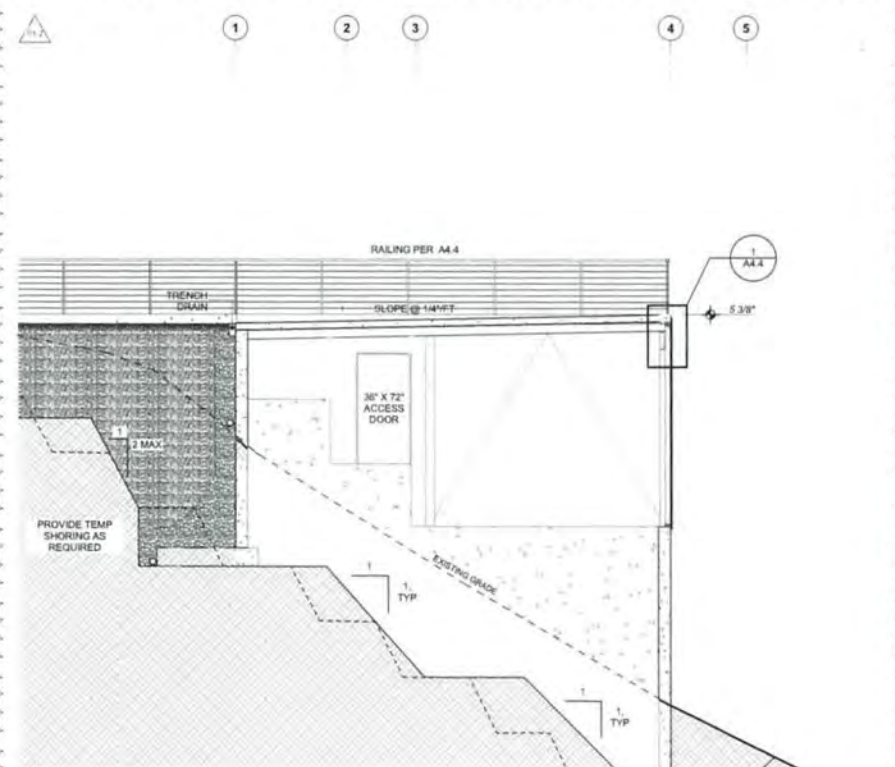
1 NS SECTION
SCALE: 1/4" = 1'-0"



2 EW SECTION
SCALE: 1/4" = 1'-0"



3 NS SECTION
SCALE: 1/4" = 1'-0"



4 EW SECTION
SCALE: 1/4" = 1'-0"

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NATHAN GOOD
SALMON, OREGON
STATE OF OREGON

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A3.1
SECTIONS



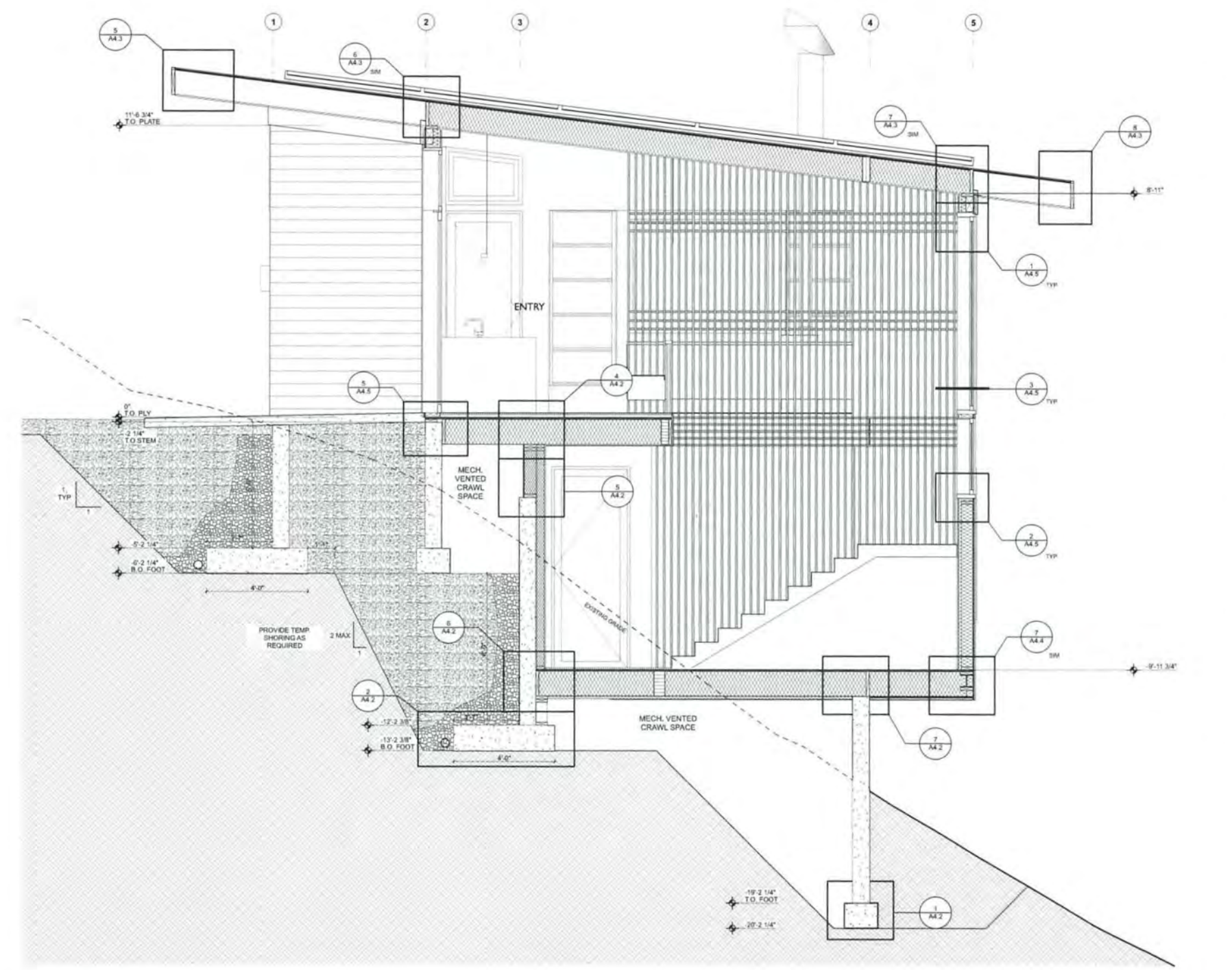
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A3.2

SECTIONS



EW SECTION
SCALE: 1/2" = 1'-0"



EXHIBIT C

Melissa Jenck

From: Garth Brandaw <Garth@CBTwoarchitects.com>
Sent: Thursday, April 11, 2024 10:18 AM
To: Lynn Tone
Cc: Melissa Jenck; Sarah Absher
Subject: EXTERNAL: Variance Request #851-23-000562 Neskowin/Hillcrest Rd

[NOTICE: This message originated outside of Tillamook County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Hi Lynn,

We own a house (Tax Lot 206) and several undeveloped properties (Lot 205, 203, 201) located above the Batchelder property (Lot 600) seeking a variance for building width and driveway width. See attached Tax Lot Map.

Joan and I support the building width variance but **only with a condition that a roof is not allowed over the proposed 10' parking pad/patio extension.**

The roof width has more impact to the properties above than a the footprint expansion would have. The current roofline at approximately 65' in length meets the 70% building width limit.

We support the driveway width request without any conditions.

Thank you for your consideration.

Garth and Joan Brandaw
4235 Knoll Terrace
Neskowin, OR 97149
503-580-9026 m