



Land of Cheese, Trees and Ocean Breeze

NON-CONFORMING MINOR REVIEW #851-24-000283-PLNG:

*NOTICE TO MORTGAGEE, LIENHOLDER, VENDOR OR SELLER:
ORS 215 REQUIRES THAT IF YOU RECEIVE THIS NOTICE,
IT MUST BE PROMPTLY FORWARDED TO THE PURCHASER*

**NOTICE OF ADMINISTRATIVE REVIEW
Date of Notice: August 1, 2024**

Notice is hereby given that the Tillamook County Department of Community Development is considering the following:

#851-24-000283-PLNG: A Non-Conforming Minor Review request to allow for the expansion and alteration of an existing non-conforming single-family dwelling, with the removal of an existing deck on the south/southwest facing side of the dwelling and construction of a sunroom in the same location. The property is located within the Unincorporated Community of Barview/Twin Rocks/Watseco at 15040 Highway 101 North, a state highway, and designated as Tax Lot 1300 in Section 17CD of Township 1 North, Range 10 West of the Willamette Meridian, Tillamook County, Oregon. The property is zoned Community High Density Urban Residential (CR-3). The owners are Bob Higgins & Dorothy Burkett. Applicant is Dorothy Burkett.

Written comments received by the Department of Community Development prior to 4:00p.m. on August 15, 2024, will be considered in rendering a decision. Comments should address the criteria upon which the Department must base its decision.

Notice of the application, a map of the subject area, and the applicable criteria are being mailed to all property owners within 250 feet of the exterior boundaries of the subject parcel for which an application has been made and other appropriate agencies at least 14 days prior to this Department rendering a decision on the request. A decision will be made no sooner than August 16, 2024.

A copy of the application, along with a map of the request area and the applicable criteria for review are available for inspection on the Tillamook County Department of Community Development website: <https://www.tillamookcounty.gov/commdev/landuseapps> and is also available for inspection at the Department of Community Development office located at 1510-B Third Street, Tillamook, Oregon 97141.

If you have any questions about this application, please call the Department of Community Development at 503-842-3408 or email Deborah Dixon, DCD Customer Care Specialist, at Deborah.dixon@tillamookcounty.gov.

Sincerely,

Sarah Absher, Director, CFM

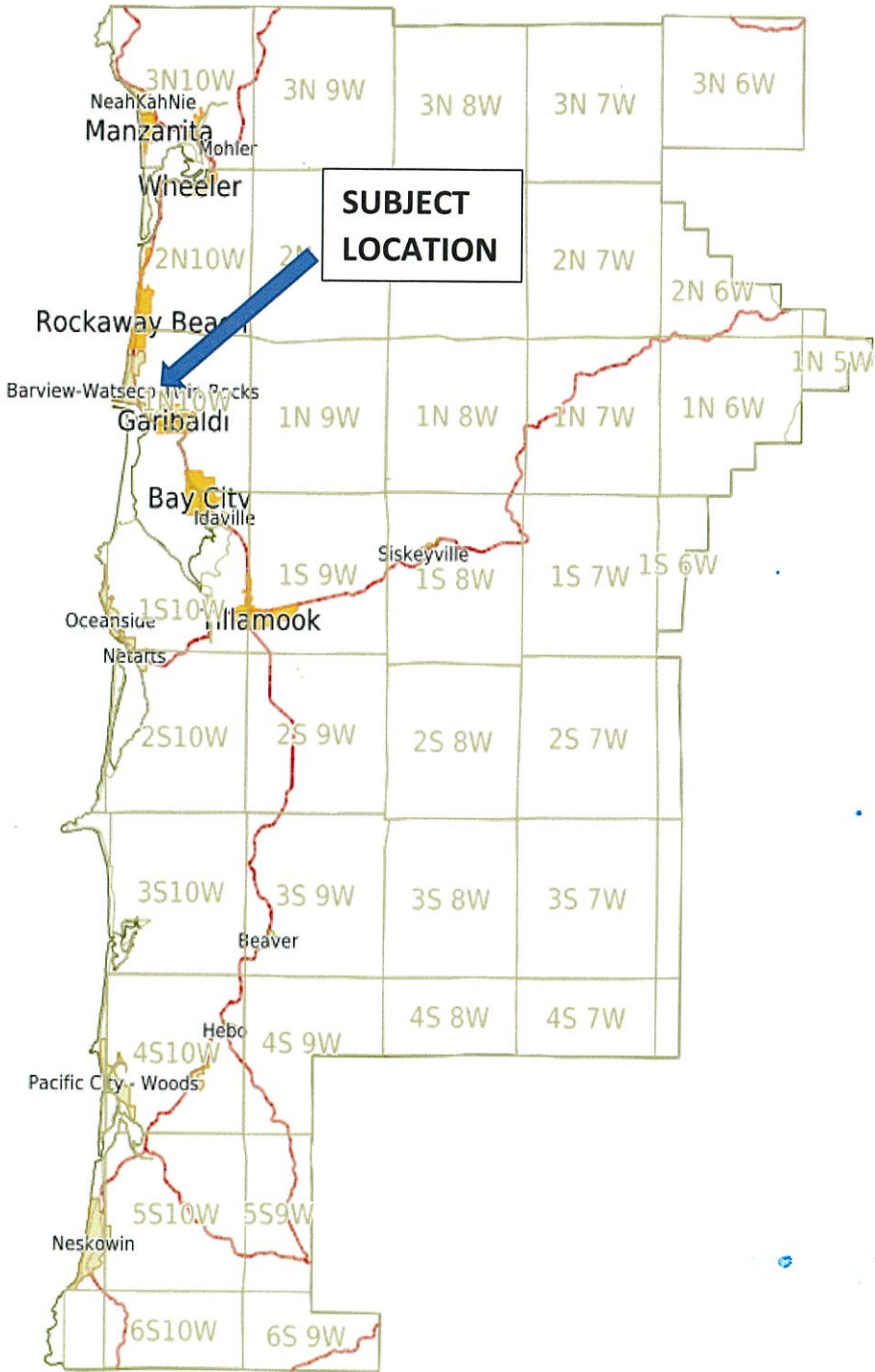
Enc. Maps
Criteria

REVIEW CRITERIA

ARTICLE VII - NONCONFORMING USES AND STRUCTURES

- (11) **MINOR REVIEW:** Application is made under the fee and procedures for a Type II Administrative Review and is reviewed using the following review criteria. A request may be permitted if:
- (a) The request will have no greater adverse impact on neighboring areas than the existing use or structure when the current zoning went into effect, considering:
 - i. A comparison of existing use or structure with the proposed change using the following factors:
 1. Noise, vibration, dust, odor, fumes, glare, or smoke detectable at the property line or off-site;
 2. Numbers and kinds of vehicular trips to the site;
 3. Amount and nature of outside storage, loading and parking;
 4. Visual impact;
 5. Hours of operation;
 6. Effect on existing vegetation;
 7. Effect on water drainage and water quality;
 8. Service or other benefit to the use or structure provides to the area; and
 9. Other factors relating to conflicts or incompatibility with the character or needs of the area.
 - ii. The character and history of the use and of development in the surrounding area.
 - (b) The request shall maintain a minimum separation of six feet between structures, and comply with the clear vision area of Section 4.010.

VICINITY MAP



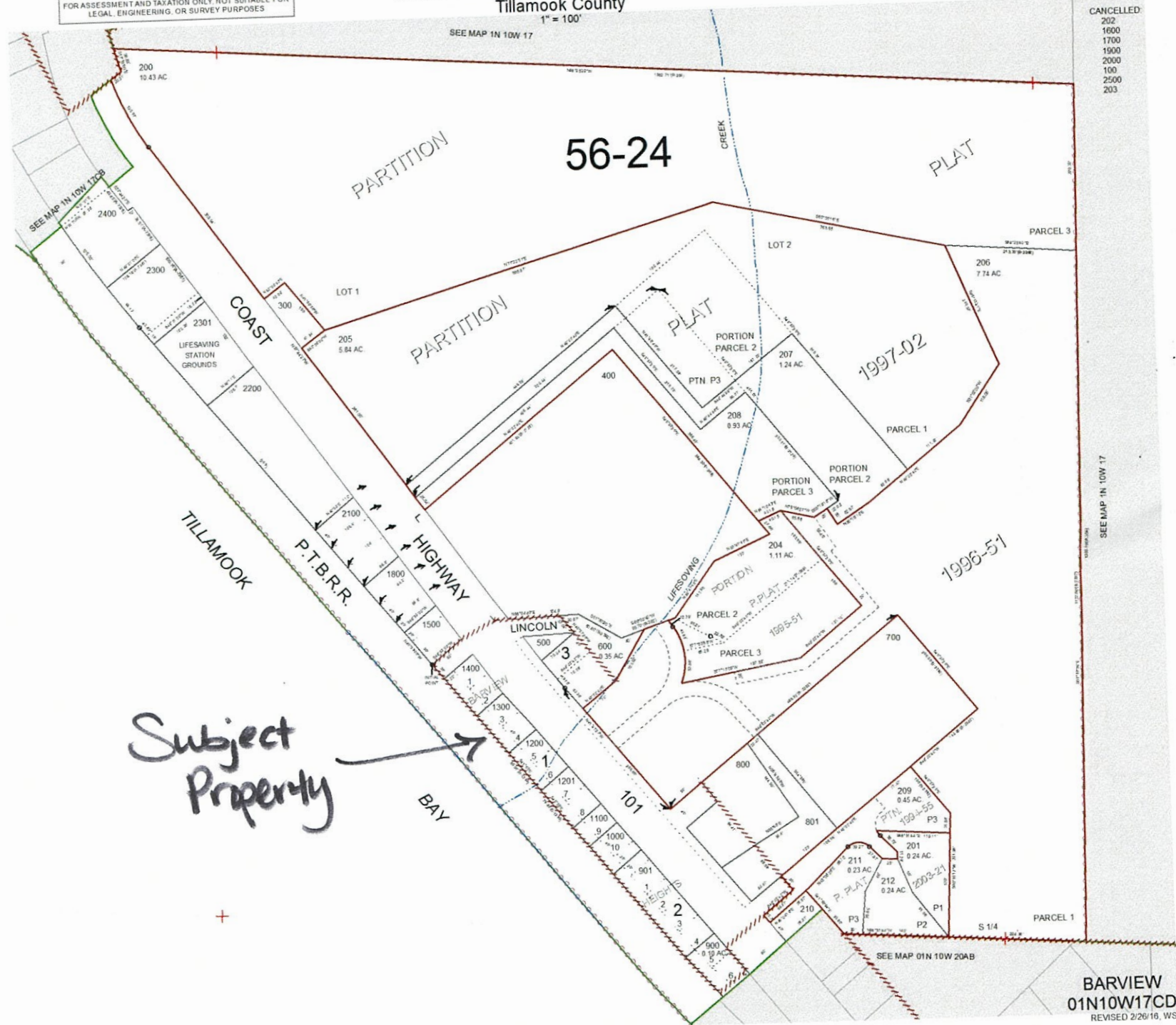
#851-24-000283-PLNG: HIGGINS & BURKETT

S.E. 1/4 S.W. 1/4 SEC. 17 T. 1N. R. 10W. W.M.
Tillamook County
1" = 100'

01N10W17CD
BARVIEW

FOR ASSESSMENT AND TAXATION ONLY NOT SUITABLE FOR
LEGAL ENGINEERING OR SURVEY PURPOSES

CANCELLED
202
1600
1700
1900
2000
100
2500
203

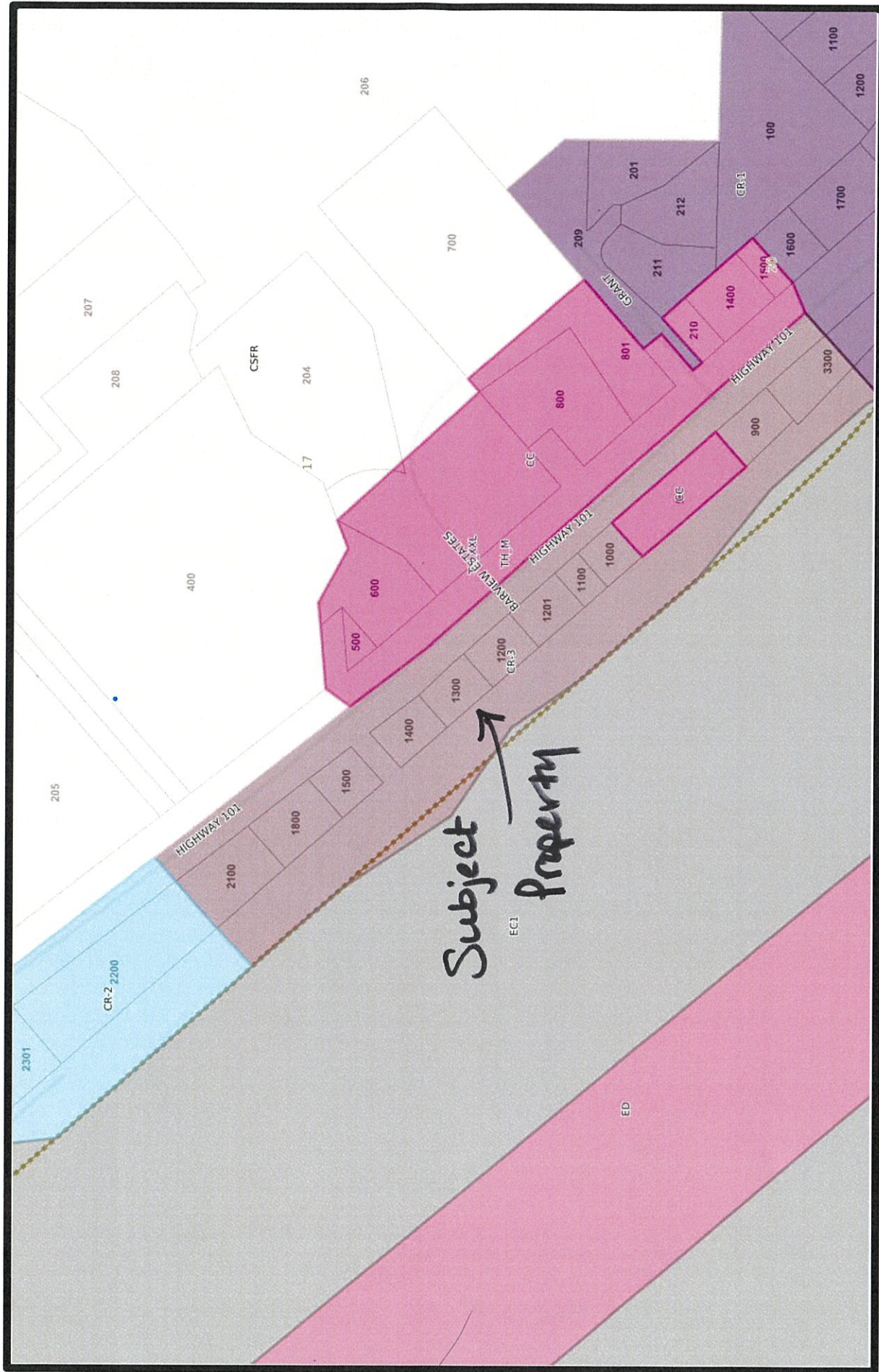


Subject Property



BARVIEW
01N10W17CD
REVISED 2/26/16, WS

Map





PLANNING APPLICATION

OFFICE USE ONLY	
Date Stamp	
RECEIVED	
MAY 14 2024	
BY: <u>Dropped off JS</u>	
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Received by:	
Receipt #:	
Fees:	
Permit No: 851- <u>21-03023</u> PLNG	

Applicant (Check Box if Same as Property Owner)

Name: Dorothy Burkett Phone: 707-350-2437
 Address: 15040 Hwy 101 N
 City: Rockaway Beach State: OR Zip: 97136
 Email: limitouttrackie@hotmail.com

Property Owner

Name: _____ Phone: _____
 Address: _____
 City: _____ State: _____ Zip: _____
 Email: _____

Request: REMOVE DECK AND BUILD ALL SEASON ROOM IN THE SPACE.

- | Type II | Type III | Type IV |
|--|---|---|
| <input type="checkbox"/> Farm/Forest Review | <input type="checkbox"/> Detailed Hazard Report | <input type="checkbox"/> Ordinance Amendment |
| <input type="checkbox"/> Conditional Use Review | <input type="checkbox"/> Conditional Use (As deemed by Director) | <input type="checkbox"/> Large-Scale Zoning Map Amendment |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Ordinance Amendment | <input type="checkbox"/> Plan and/or Code Text Amendment |
| <input type="checkbox"/> Exception to Resource or Riparian Setback | <input type="checkbox"/> Map Amendment | |
| <input checked="" type="checkbox"/> Nonconforming Review (Major or Minor) | <input type="checkbox"/> Goal Exception | |
| <input type="checkbox"/> Development Permit Review for Estuary Development | <input type="checkbox"/> Nonconforming Review (As deemed by Director) | |
| <input type="checkbox"/> Non-farm dwelling in Farm Zone | <input type="checkbox"/> Variance (As deemed by Director) | |
| <input type="checkbox"/> Fore-dune Grading Permit Review | | |
| <input type="checkbox"/> Neskowin Coastal Hazards Area | | |

Location:

Site Address: 15040 Hwy 101 N Rockaway Beach OR 97136
 Map Number: IN 110 17C0 1300
Township Range Section Tax Lot(s)

Clerk's Instrument #: _____

Authorization

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.

Dorothy Burkett
 Property Owner Signature (Required)
Dorothy Burkett
 Applicant Signature

4/22/2024
 Date
4/22/2024
 Date

ARTICLE VII: MINOR REVIEW CRITERIA

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 - 5. Hours of operation;
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- (b) The request shall maintain a minimum separation of six feet between structures and comply with the clear vision area of Section 4.010.

The Department may require the applicant to submit a site survey or similar information to assist in making these determinations.



PLANNING APPLICATION

Applicant (Check Box if Same as Property Owner)

Name: Dorothy Burkett Phone: 707-350-2437
 Address: 15040 Hwy 101 N
 City: Rockaway Beach State: OR Zip: 97136
 Email: limitouttackle@hotmail.com

Property Owner

Name: _____ Phone: _____
 Address: _____
 City: _____ State: _____ Zip: _____
 Email: _____

OFFICE USE ONLY	
Date Stamp	RECEIVED MAY 14 2024 BY: <u>Dropped off JS</u>
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Received by: _____	
Receipt #: _____	
Fees: _____	
Permit No: 851- <u>21-00283</u> PLNG	

Request: REMOVE DECK AND BUILD ALL SEASON ROOM IN THE SPACE.

Type II

- Farm/Forest Review
- Conditional Use Review
- Variance
- Exception to Resource or Riparian Setback
- Nonconforming Review (Major or Minor)**
- Development Permit Review for Estuary Development
- Non-farm dwelling in Farm Zone
- Fore-dune Grading Permit Review
- Neskowin Coastal Hazards Area

Type III

- Detailed Hazard Report
- Conditional Use (As deemed by Director)
- Ordinance Amendment
- Map Amendment
- Goal Exception
- Nonconforming Review (As deemed by Director)
- Variance (As deemed by Director)

Type IV

- Ordinance Amendment
- Large-Scale Zoning Map Amendment
- Plan and/or Code Text Amendment

Location:

Site Address: 15040 Hwy 101 N Rockaway Beach OR 97136
 Map Number: 1N 10 1700 1300
Township Range Section Tax Lot(s)

Clerk's Instrument #: _____

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Dorothy Burkett
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The Department may require the applicant to submit a site survey or similar information to assist in making these determinations.

i. A comparison of existing use or structure with the proposed change using the following factors:

1. Noise, vibration, dust, odor, fumes, glare, or smoke detectable at the property line or off-site;

Property is a residence, no noise, vibration, dust, odor, fumes, glare, or smoke out of the ordinary expected.

2. Numbers and kinds of vehicular trips to the site;

Property is a residence; no additional vehicle activity will be generated with the addition.

3. Amount and nature of outside storage, loading and parking;

Property is a residence, there is no outside storage, loading or parking, outside of normal.

4. Visual impact;

Addition will be 15'9" below the 24' max and below the overall height of the existing house.

5. Hours of operation;

Property is a residence, no hours of operation.

6. Effect on existing vegetation;

Original deck was pavers and dirt, no vegetation. Area below the addition will be similar.

7. Effect on water drainage and water quality;

Original deck allowed water to flow to the ground to be absorbed in the area. The addition has a draining system for the roof and will be routed to the ground to be absorbed on the property.

8. Service or other benefit to the use or structure provides to the area; and

Property is a residence and does not offer services or other benefits to the area.

9. Other factors relating to conflicts or incompatibility with the character or needs of the area.

Property is a residence within a row of other houses.

- ii. The request shall maintain a minimum separation of six feet between structures and comply with the clear vision area of Section 4.010

There are no other structures on the property.

Tim Wolden, Structural Consultant
34930 Hwy 53
Nehalem, OR 97131

(541) 915-6389 cell
(503) 368-7962 office
(503) 368-7963 fax
tim@woldense.com

February 21, 2024

Ted Brinkman
bdds@charter.net
Brinkman Drafting Design Services
Warrenton, Oregon

Re: Structural Design Review – Design Framing for the Proposed Sunroom Addition to the Burkett Residence at 15040 North Highway 101 in rural Rockaway Beach, Oregon

Ted:

I have reviewed your drawings and have provided structural calculations for the framing and foundation for the sunroom addition that will be added to the southwest side of the Burkett Family residence at 15040 North Highway 101 in rural Rockaway Beach. I based the design on your preliminary drawings from earlier this month and have reviewed your final drawings to ensure that the information in the attached calculations and drawing mark-ups has been included in the final set of drawings.

The existing home is a small two-story home about 30-feet wide by 24-feet deep from northeast to southwest. The single-story sunroom addition will be 12-feet deep by 16-feet wide and will be added to the south end of the southwest facing wall in place of the existing elevated deck shown below. The roof will be ledgered to the short eyebrow roof and the floor will be ledgered to the exterior wall at the existing lower floor level.



SW Elevation of the Burkett Residence

I used a floor live loading of 40 psf to size the floor joists and a snow loading of 20 psf to size a beam to support the roof where the original rear wall of the front cabin area is being removed. I also sized footings using an allowable bearing pressure of 1500 psf. The southeast and northwest walls of the addition were not checked for a wind loading because it is in the projected area of the existing structure but the exterior wall of the sunroom at the southwest elevation was checked for the required 135 mph wind at Exposure D due to the proximity of this home to the open ocean to the west.

I found that the rafters could be 2x10s at 24 inches on center and the floor joists could be 2x8s or the 9½ inches manufactured I-joists that you had selected. The 6-inch floor beams will support these joists at the center and the outer edge of the sun room. These beams will be supported by posts and footings that raise the added sunroom structure about 4-feet above grade. I assume this is to meet a flood zone requirement. There is also an attached elevated deck to the northwest side of the sunroom addition.

Please refer to the attached calculations and drawings mark-ups for the member sizes, wall nailing, and various connection information. I have also reviewed your final drawings to ensure that you have transferred the information to the submittal drawings.

I have enjoyed working with you on this project. If you have any additional questions or comments; please feel free to call.

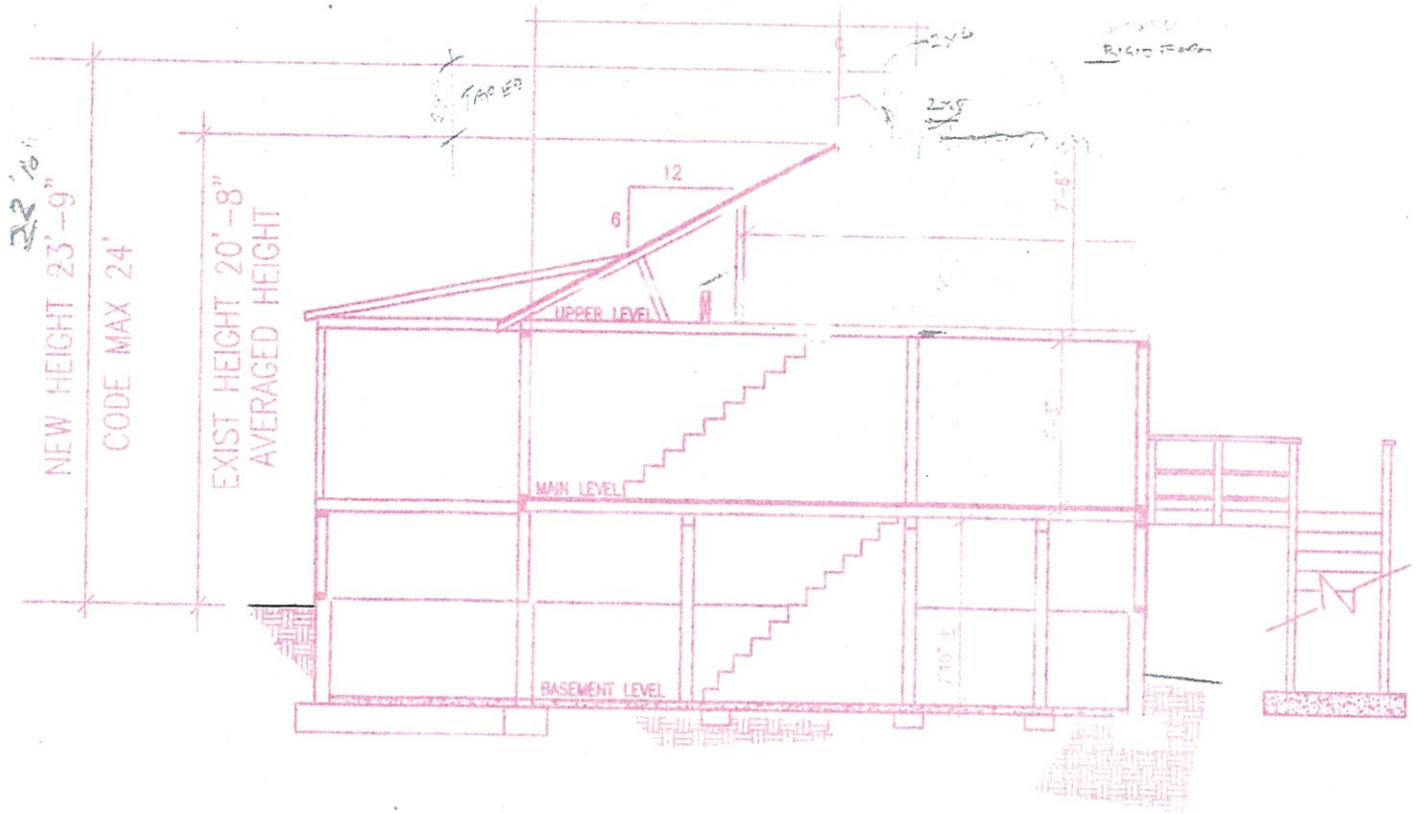
Sincerely,



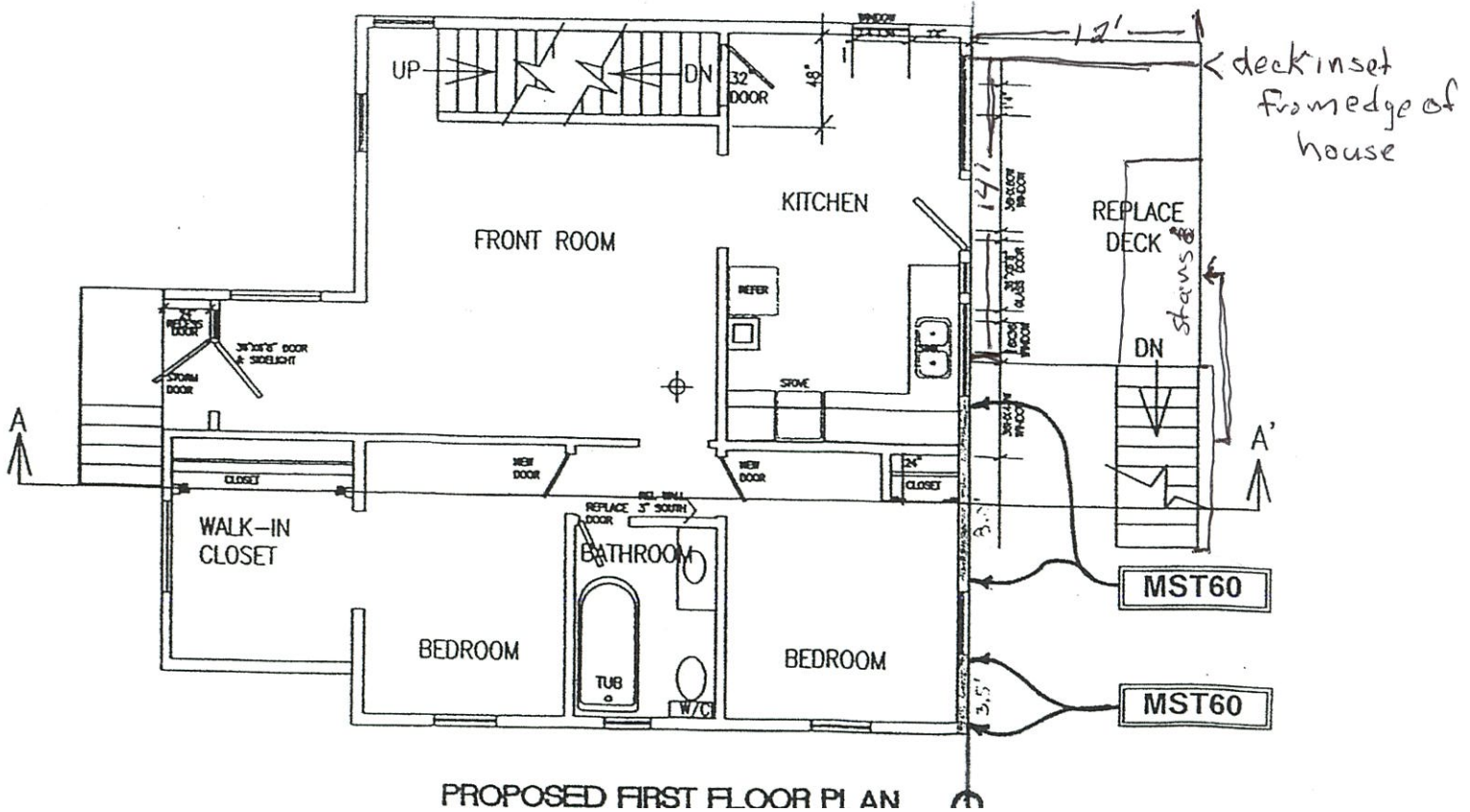
Timothy Wolden

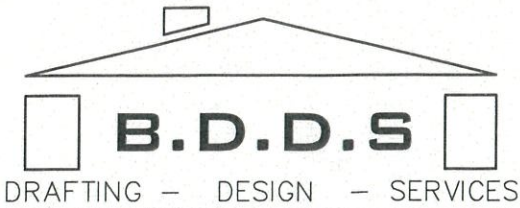
Original deck

MATERIALS & COLORS
~~IN NEW CONSTRUCTION~~



SCALE 1/8" = 1'





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NOTE:

WHERE MEANS AND METHODS OF CONSTRUCTION ARE NOT MENTIONED, FOLLOW THE PRESCRIPTIVE PATH AND STANDARD OF THE INDUSTRY FOR ALL CONSTRUCTION. FOLLOW ALL CITY, COUNTY AND STATE BUILDING CODES UPDATES AND AMENDMENTS.

NOTE:

BRINKMAN DRAFTING DESIGN SERVICES IS NOT AN ENGINEERING COMPANY. FOR STRUCTURES THAT DO NOT FOLLOW PRESCRIPTIVE PATH AN ENGINEER MAY BE REQUIRED. CONSULT WITH A LOCALLY LICENSED ENGINEER WHEN NECESSARY.

DO NOT SCALE DRAWINGS! VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION

NOTE:

THE PLANS PREPARED MAY NEED TO BE ADAPTED TO MEET SPECIFIC STATE AND LOCAL BUILDING CODES AND REGULATION, AND SPECIFIC SITE CONDITIONS. THIS RESPONSIBILITY RESTS SOLELY WITH THE CONTRACTOR(S) HIRED FOR THIS PROJECT OR ANY INDIVIDUAL PERFORMING PHYSICAL WORK/LABOR ON THIS SITE OR PROJECT. IT IS THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR(S) OF THE STRUCTURE OR SITE TO OBTAIN ANY AND ALL INFORMATION REGARDING C.C.R.(S) CODES AND SPECIFICS FOR THE AREA FOR WHICH THESE PLANS HAVE BEEN PREPARED. DETAIL DRAWINGS ARE TO BE USED AT THE CONTRACTORS DISCRETION AND PER THE ENGINEERS SPECIFICATIONS. FOLLOW THE PRESCRIPTIVE PATH IF THE DETAILS SHOWN DO NOT APPLY. USE THE METHODS PRESCRIBED BY THE ENGINEERS RECOMMENDATIONS. B.D.D.S. DOES NOT ASSUME THE RESPONSIBILITY OF INFORMING THE CONTRACTOR OF HIS OR HER DUTIES. IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH ANY AND ALL BUILDING CODES WITHIN THE AREA THAT CONSTRUCTION TAKES PLACE.

SHEET INDEX:

- C1. COVER PAGE
- C2.1 SITE PLAN
- C3.1 NOTES, KEY NOTES
- A1.1 MAIN FLOOR PLANS & FRAMING PLANS
- A2.1 ELEVATIONS & SECTIONS
- S1.1 FOUNDATION - DETAILS
- S2.1 ENGINEERS NOTES & CALCULATIONS

***NOTE (DISCLAIMER)**

IT IS NOT THE RESPONSIBILITY OF B.D.D.S. TO INFORM OR ENSURE THAT THE BUILDER(S) OR CONTRACTOR(S) PROPERLY CONSTRUCT OR BUILD ANY STRUCTURE. IT IS THE RESPONSIBILITY OF THE PERSONS BUILDING ANY STRUCTURE BASED ON PLANS DRAWN BY B.D.D.S. TO KNOW AND IMPLEMENT AND ADHERE TO STATE BUILDING CODES, UPDATES AND AMENDMENTS AS NEEDED OR REQUIRED. REFER TO THE - ORSC, OSSC.-(OREGON STRUCTURAL SPECIALTY CODE)



ADDITION / REMODEL PLANS FOR: DORTHY BURKETT 15040 N.HWY 101 ROCKAWAY BEACH OREGON

FINAL PLANS

B.D.D.S

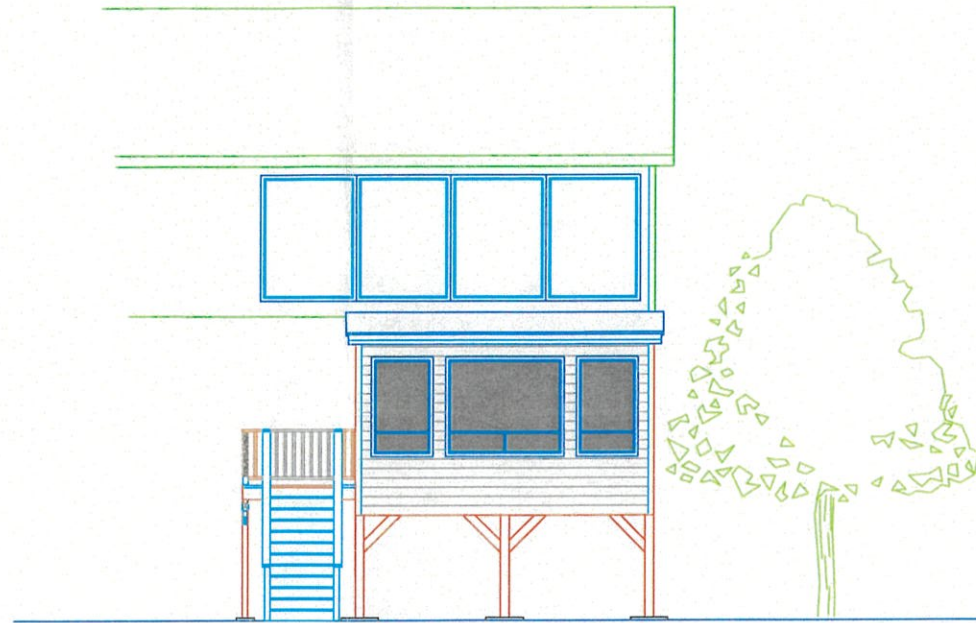
PLANS MAY NOT BE COPIED WITHOUT EXPRESS PERMISSION FROM BRINKMAN DRAFTING DESIGN SERVICES. THESE PLANS ARE PROPRIETARY DOCUMENTS AND BELONG TO B.D.D.S. BRINKMAN DRAFTING DESIGN SERVICES.

Date: 2-20-2024

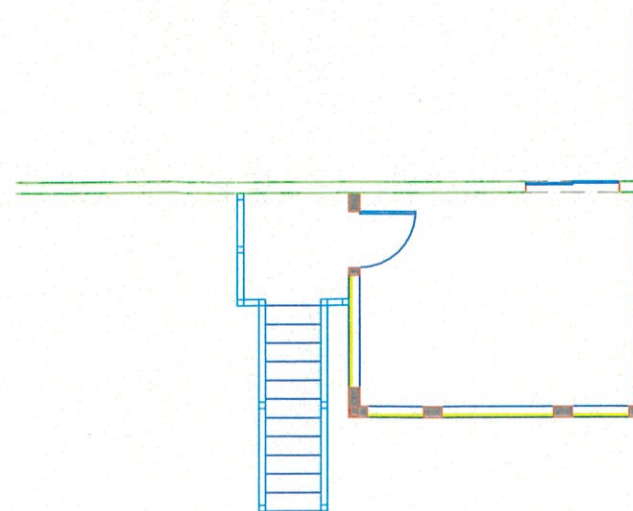
By: B.D.D.S., TEHB.

Description: COVER PAGE

Revision:



FRONT ELEVATION



MAIN FLOOR PLAN

N.T.S. ADDTION 192 Sq.Ft.

ADDITION / REMODEL PLANS FOR:
DORTHY BURKETT
15040 ROCKAWAY BEACH OREGON

COVER PAGE

503.861.0448
WASHINGTON, OREGON
THE GREATER P.W.

B.D.D.S

BRINKMAN DRAFTING,
DESIGN SERVICES

WASHINGTON
OREGON
THE GREATER P.W.

C1.1

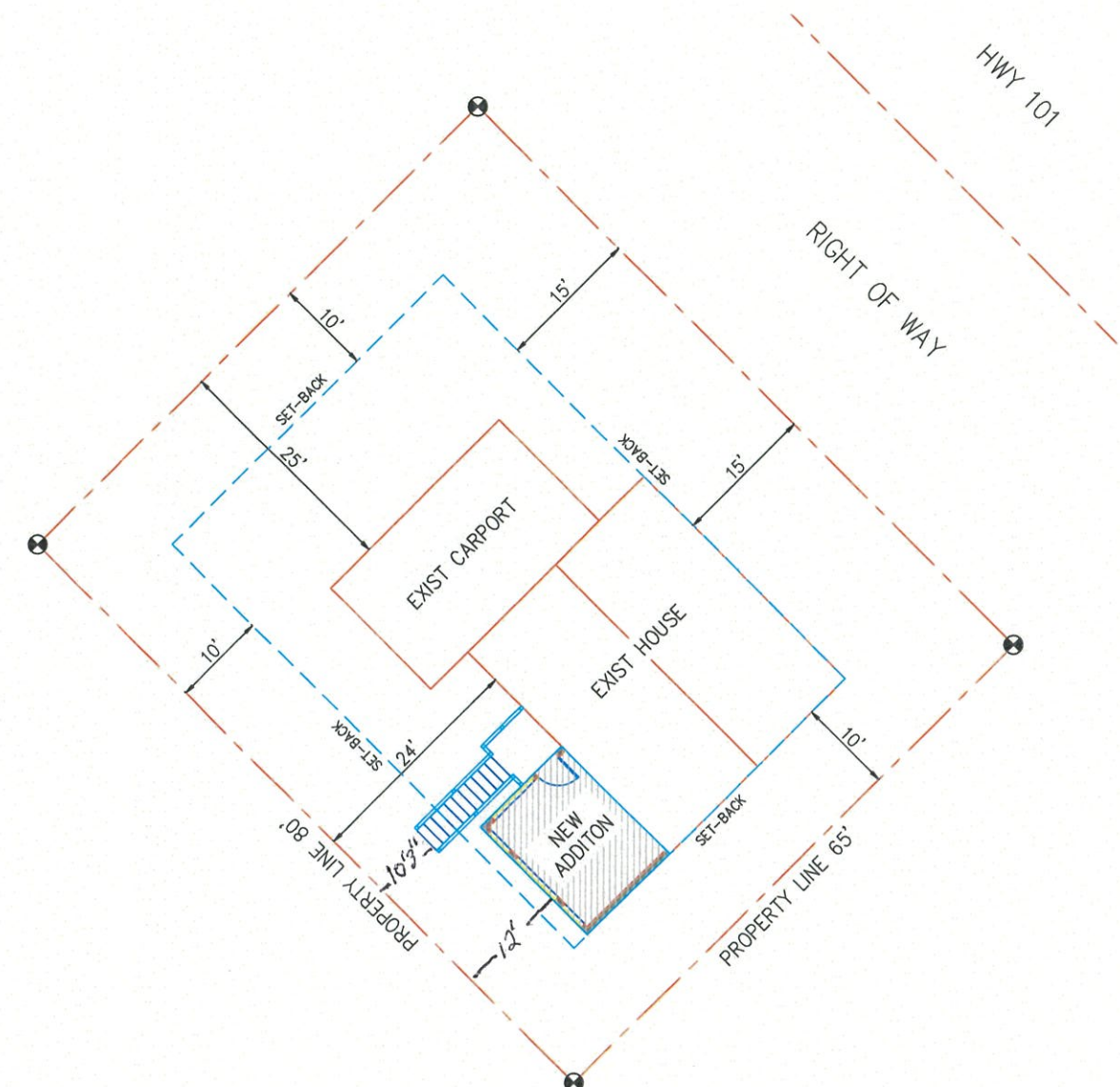
FINAL PLANS

B.D.D.S

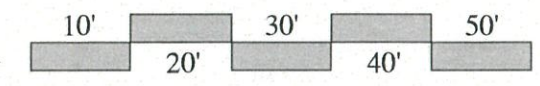
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EXPRESS PERMISSION
FROM BRINKMAN DRAFTING
DESIGN SERVICES. THESE PLANS
ARE PROPRIETARY DOCUMENTS
AND BELONG TO B.D.D.S.
BRINKMAN DRAFTING
DESIGN SERVICES.

Date: 2-20-2024
By: B.D.D.S., TEHB.

Description: SITE PLAN
Revision: _____



SITE PLAN
SCALE: 1"=10'



GRAPHIC SCALE

ADDITION / REMODEL PLANS FOR:
DOROTHY BURKETT
15040 ROCKAWAY BEACH OREGON

SITE PLAN & BUILDING LOCATION

REG. NO. 0449
WARRENTON, OR 97146
BDD@CHARTER.NET

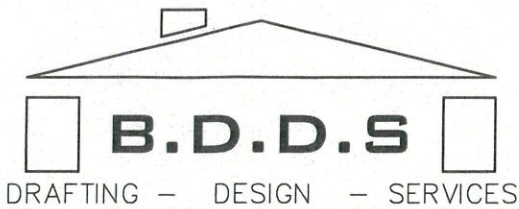
B.D.D.S

**BRINKMAN DRAFTING,
DESIGN SERVICES**

WASHINGTON
OREGON
THE GREATER N.W.

C2.1

GENERAL NOTES AND REFERENCES



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ALL RIGHTS RESERVED. © COPYRIGHT 2005

NOTE:
WHERE MEANS AND METHODS OF CONSTRUCTION ARE NOT MENTIONED, FOLLOW THE PRESCRIPTIVE PATH AND STANDARD OF THE INDUSTRY FOR ALL CONSTRUCTION. FOLLOW ALL CITY, COUNTY AND STATE BUILDING CODES UPDATES AND AMENDMENTS.

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- All construction to comply with State CURRENT BUILDING codes Structural specialty code, (IBC), International Building Code, State of Oregon one and two family dwelling code, 2011-2019 edition (CURRENT) and local codes. all construction and work performed shall comply with all pertinent State and Local code requirements, laws, and ordinances.
- Contractor shall coordinate all drawings, verify all dimensions and connections before construction.
- The contractor shall notify the engineer of any field conditions different from those indicated on the drawings when necessary.
- Typical details and standard framing provisions of the current ORSC or UBC shall apply where no specific details or sections are noted on the plans.
- All vertical joints of shear wall plywood sheathing shall occur over studs. Horizontal joints shall be solid blocked.
- Shear wall sheathing shall extend from top plate under roof rafters to sole and /or mudsill. Plywood shall run continuous the full length of the wall indicated on plans and shall not be interrupted by any portion of intersecting walls.
- Wall sheathing shall be "edge nailed" to all wall members with hold-downs attached to them.
- Wall sheathing shall be "edge nailed" along all top, bottom plates, and mudsill at foundation.
- All holdowns, straps, etc. to be "Simpson Strong-Tie" and shall be installed in accordance with manufacture's current connection manual.
- All anchor bolts must have 3" galv. square washers and shall be located within 12", but not less than 9" from the ends of the sill plates.
- Roof sheathing shall be 1/2" CDX minimum APA rated 24/0, with face grain perpendicular to framing members below. Stagger adjacent panels by 4'-0" and nailed with 8d common nails @ 6" on center at edges and 12" on center at all intermediate supports.
- Floor plywood shall be 3/4" CDX minimum APA 32/16 tongue and groove, face grain perpendicular to framing members below, stagger adjacent panels by 4'-0" and nailed with 10d common nails at 6" on center at all plywood panel edges and at 10" on center at all intermediate supports.
- Shear wall plywood shall be 1/2" CDX APA 24/0, unless noted otherwise. All panel edges shall be blocked and nailed. All plywood intermediate supports shall be nailed with 8d common or galvanized box nails at 12" on center. See shear wall schedule for required edge nailing.
- All nailing to be per table of the current ORSC code edition,
- Lateral and Seismic design criteria: State of Oregon, CURRENT building codes edition, structural specialty code. (Non lateral & seismic design criteria based upon current ORSC, OSSC code.)
- It is the responsibility of the contractor(s) to follow all Current building codes and code amendments. It is not the responsibility of BDDDS to post every code or inform the contractor how to build any structure.

GENERAL FRAMING NOTES

- LIVE LOADS
ROOF 25 PSF
FLOORS 40 PSF
WIND SPEED, MPH QUSTS . . . 135 MPH, EXPOSURE C
SEISMIC TYPE/AREA - D2
- GLU-LAMINATED TIMBER
AFC SPECIFICATION 24F-V4 FOR SIMPLE SPANS, AND 24F-V8 FOR CANTILEVER-SPANS. PROVIDE AFC STAMP ON TIMBER. ALL GLUE-LAM BEAMS SHALL FIT SNUG AND TIGHT IN THEIR CONNECTIONS AND DEVELOP FULL BEARING AS INDICATED. GLU-LAM ADHESIVE TO BE "WET USE" TYPE IBC STANDARDS.
- TIMBER
JOISTS - HF#2
BEAMS, STUDS, HEADERS DF#2
POSTS DF#1
STUDS - HF STUD GRADE
WALL PLATES AND LUMBER NOT NOTED TO BE HF#2. ALL GRADES SHALL CONFORM TO "NWFA GRADING RULES FOR WESTERN LUMBER" - 1991 EDITION. BOLT HEADS AND NUTS BEARING AGAINST WOOD SHALL BE PROVIDED WITH STANDARD CUT 3"x3" GALV. WASHERS. ALL NAILS ARE "COMMON". MINIMUM NAILING TRUSS DESIGN PER MANUF.
TRUSS PLAN IS FOR GENERAL LAYOUT ONLY. TRUSS SPAN PER FLOOR PLANS
TRUSS TYPE PER ROOF FRAMING PLAN
- ROOF FRAMING SPACING 24" o.c. U.N.O
- ROOF PITCH- EXTERIOR PER ELEVATION
- RAFTER TAIL 2x4 OR BETTER, VERIFY.
- ROOF TAIL AND RAKE OVERHANG PER ROOF PLAN. TRUSS ENGINEERING TO BE DONE BY TRUSS MANUFACTURING CO. TRUSS PLAN IS FOR GENERAL LAY OUT PURPOSES ONLY.
- ALL HEADERS ARE 4x10 OR 6x10 DF #2 U.N.O PROVIDE (1) TRIMMER STUD UP TO 4'-0" SPAN AND (2) TRIMMER STUDS OVER 4'-0" U.N.O
- SPECIAL CONDITIONS
CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD AND SHALL PROVIDE ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS DURING CONSTRUCTION.
- INSPECTIONS
IF NOT NOTED, UPDATE PER CURRENT OREGON CODES AND ALL CURRENT ADOPTED CODES PER THE OSSC & CURRENT AMENDMENTS

FLOOR PLAN KEYNOTES

- P-1 OCCUPANCY SEPARATION, APPLY (1) LAYER OF 1/2" G.W.B TO GARAGE CEILING UNDER ATTIC SPACES AND TO ALL BEAMS AND POSTS SUPPORTING A FLOOR-CEILING ASSEMBLY. APPLY (1) LAYER OF 5/8" TYPE "X" G.W.B TO GARAGE CEILING WHEN UNDER HABITABLE ROOMS.
- P-2 1 3/8" MIN SOLID WOOD CORE, HONEYCOMB CORE STEEL OR 20-MINUET FIRE RATED DOOR.
- P-3 STAIR ASSEMBLY NOTES,
A. HEADROOM MIN 6'-8", WIDTH MIN 3'-0"
B. TREADS 10" MIN DEPTH AND MIN WIDTH OF 36" ABOVE HANDRAIL HEIGHT, RISERS 8" MAX HT. TREAD NOSING. HANDRAIL TYPE 1 CIRCULAR TO HAVE 1 1/4" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN CLEAR FROM WALL, RETURN RAIL ENDS.
D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN.
E. COVER USABLE SPACE UNDER STAIR W/ 1/2" OR 5/8" TYP-X G.W.B. INTERMEDIATE BALUSTERS SHALL BE SPACED W/ LESS THAN 4" BETWEEN BALUSTERS.
F. LANDINGS MUST BE AT LEAST 36"
- P-4 EGRESS WINDOW PER CURRENT STATE CODES
- P-5 IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN ABOVE TOP OF SLAB.
- P-6 COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NONABSORBENT MATERIAL TO 70" ABOVE DRAIN INLETS. IF SHEET ROCK IS INSTALLED, USE ONLY WATER RESISTANT GREENBOARD SHEETROCK. INSTALL 15PNB ROOFING FELT OVER WALLS, INSTALL 1/2" THK. CEMENTITIOUS CERAMIC TILE BACKERBOARD BEFORE TILING.
- P-7 8" MAX. RISER WITH 10" MIN RUN, IF MORE THAN (3) RISERS, HANDRAIL REQUIRED PER I.B.C.
- P-8 18"x24" CRAWL SPACE ACCESS, INSULATE AND WEATHER STRIP.
- P-9 24"x30" ATTIC SPACE ACCESS W/30" HEAD CLEARANCE INSULATE AND WEATHER STRIP.
- P-10 36" GUARDRAIL PER CURRENT BUILDING CODES AT STAIRS SLOPES AT 34" ABOVE STAIR NOSINGS.
- P-11 8" VENT FOR MECHANICAL. 1" CLEARANCE ALL SIDES PER ORSC. SECTION REQUIREMENTS

FRAMING KEYNOTES

- F-1 PROVIDE FLASHING, PAN FLASHING @ WINDOWS AS REQUIRED
- F-2 BRACED WALL PANELS (BP) W/ 1/2" CDX AND DF #2 16" O.C. @ A MINIMUM OF 48" INTERIOR OF BRACED PANEL W/ 1/2" GYP.
- F-3 ALTERNATE BRACED WALL PANELS (ABP) WITH A MINIMUM OF 32"
- F-4 WALL FRAMING-SEE CURRENT STATE BUILDING CODES WALL COVERINGS SEE CURRENT AMENDMENT. WALLS SHALL BE COVERED IN A ASTM RATED E2273 WATER WOKING MEMBRANE WITH A WATER RESISTANT SIDING MATERIAL OVER
- F-5 BATHROOMS MUST HAVE A DEHUMIDIFIER FAN EXHAUST FAN W/DEHUMIDISTAT TIMER W/ AN R0CFM RATING AND A SOUND RATING OF 1.0 SONE BATHROOMS W/O BATHING AREAS - 50CFM RATING
- F-6 ROOF NAILING WHERE WIND SPEED IS GREATER THAN 100MPH ROOF SHEATHING SHALL BE ATTACHED TO INTERMEDIATE SUPPORTS AT 6" O.C. AND 4" O.C. TO GABLE END WALL FRAMING
- F-7 ROOF VENTILATION. SHALL COMPLY WITH CURRENT IBC ROOF CEILING CONSTRUCTION ROOF VENTILATION REQ. 150SFT OF NET FREE VENTING PER 150SFT OF ATTIC SPACE.
- F-8 PROVIDE FLASHING @ WINDOWS AS REQUIRED

***NOTE (DISCLAIMER)**
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FOUNDATION KEYNOTES

- FP-1 CONCRETE STEM WALL 8" WIDE WITH MIN. 15"x7" FOOTING MIN. SEE DETAILS FOR ADDITIONAL INFORMATION.
- FP-2 CONCRETE SLAB ON GRADE SHALL BE A MIN. OF 3-1/2" THICK STEEL TROWELED FINISH, W/6x6 W1.4xW1.4 WWF ON 4" GRAINULAR FILL. SLOPE 2" TO DOOR PROVIDE THICKENED EDGE AT DOOR.
- FP-3 6x6 POST ON CB66. 1" ABOVE SLAB ON 36"x36"x8" MAT FOOTING ON SOLID SUBSTRATE W/(4) #4 BAR EACH WAY
- FP-4 CRAWL SPACE VENT. NUMBER OF VENTS PER AREA OF SQ. FOOTAGE
- FP-5 6 MIL BLACK POLYETHYLENE GROUND COVER ON GRADE.
- FP-6 ANCHOR BOLTS @ 4' O.C. W/ 3" SQUARE HOT DIPPED GALVANIZED WASHERS
- FP-7 BLOCK OUT IN STEM WALL FOR DOORS, HVAC, ETC, AS REQUIRED
- FP-8 18"x24" CRAWL SPACE ACCESS, INSULATE AND WEATHER STRIP.
- FP-9 PROVIDE SOLID BLOCKING THRU JOIST SYSTEM TO PROVIDE SAME AREA OF BEAM SUPPORT AS ABOVE AND BELOW.
- FP-10 MIN 1" CLEARANCE FROM CONCRETE AT END OF BEAMS.
- FP-11 CONT. BRACING METHOD CURRENT IBC
- FP-12 FOUNDATION STRENGTH. MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 3,000psi

FINAL PLANS

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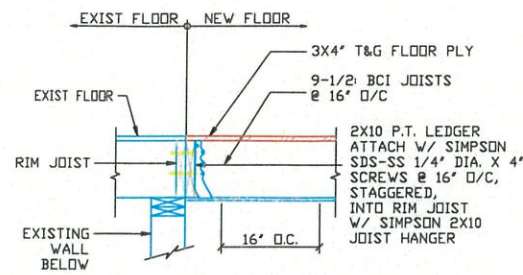
Date: 2-14-2024
By: B.D.D.S., TEHB.

Description: CODES, NOTES
Revision:

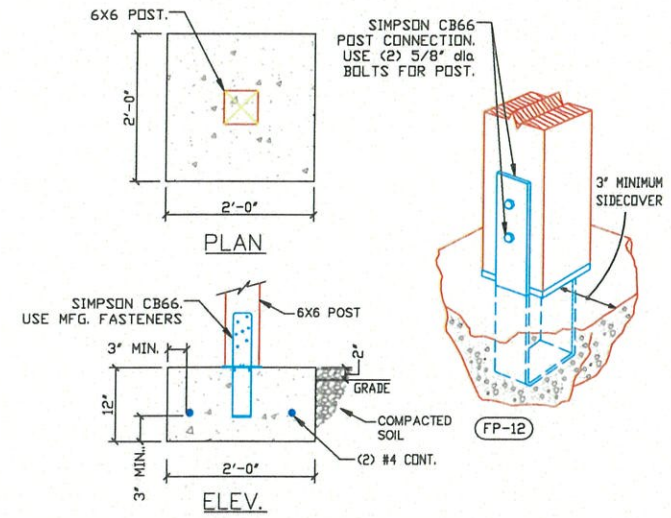
ADDITION / REMODEL PLANS FOR:
DORTHY BURKETT
15040 ROCKAWAY BEACH OREGON
KEY NOTES & REFERENCES

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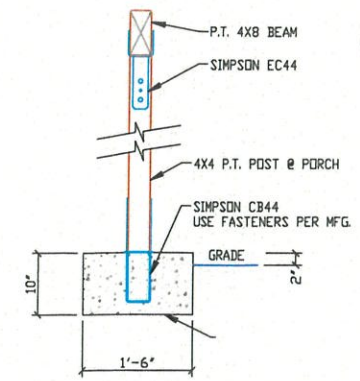
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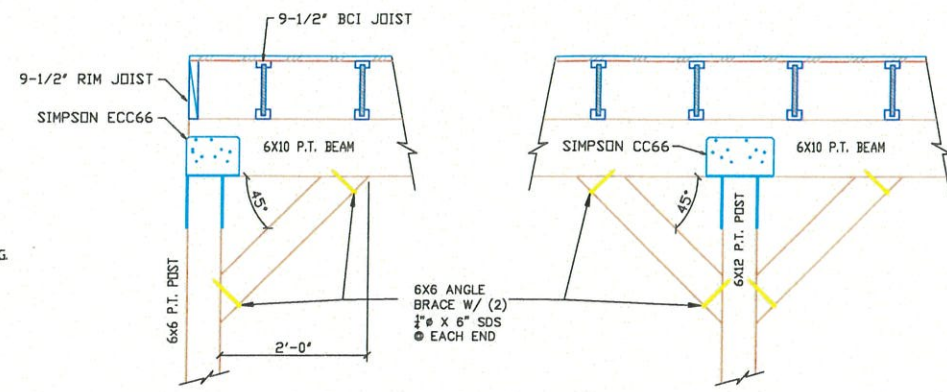
1 FLOOR TO FLOOR
SCALE: 3/4" = 1'-0"



2 POST FOOTING
SCALE: 3/4" = 1'-0"



3 DECK POST & BEAM
SCALE: 3/4" = 1'-0"



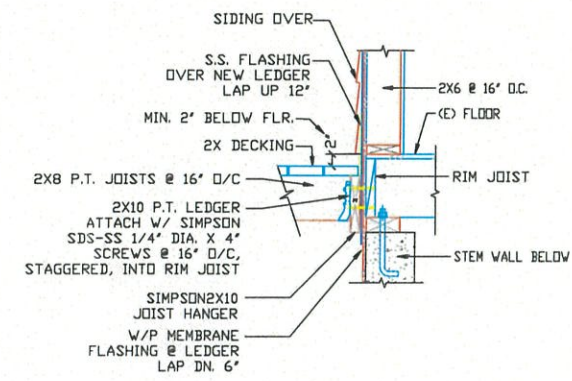
4 POST CAP CONNECTION & BRACE DETAILS
SCALE: 3/4" = 1'-0"

Joist Depth	BCI Joist Series	*** THREE STAR ***					**** FOUR STAR ****					CAUTION * MINIMUM STIFFNESS ALLOWED BY CODE *					CAUTION					
		12" O.C.	16" O.C.	19.2" O.C.	24" O.C.	32" O.C.	12" O.C.	16" O.C.	19.2" O.C.	24" O.C.	32" O.C.	12" O.C.	16" O.C.	19.2" O.C.	24" O.C.	32" O.C.	12" O.C.	16" O.C.	19.2" O.C.	24" O.C.	32" O.C.	
9 1/2"	5000 1.7	17'-1"	15'-7"	14'-9"	13'-9"	12'-0"	11'-6"	11'-6"	10'-0"	10'-0"	9'-6"	18'-11"	17'-0"	15'-6"	13'-11"	12'-0"	19'-10"	18'-2"	17'-2"	15'-9"	13'-8"	12'-0"
	6000 1.8	17'-11"	16'-5"	15'-6"	14'-5"	13'-2"	11'-6"	11'-6"	10'-0"	10'-0"	9'-10"	19'-10"	18'-2"	17'-2"	15'-9"	13'-8"	20'-5"	18'-8"	17'-8"	16'-5"	14'-3"	12'-0"
	6500 1.8	18'-5"	16'-10"	15'-11"	14'-10"	13'-6"	11'-6"	11'-6"	10'-0"	10'-0"	10'-0"	20'-5"	18'-8"	17'-8"	16'-5"	14'-3"	22'-3"	21'-6"	20'-0"	17'-11"	14'-10"	12'-0"
11 1/8"	5000 1.7	20'-2"	18'-5"	17'-5"	15'-9"	13'-4"	15'-6"	14'-4"	13'-6"	12'-7"	11'-5"	22'-3"	19'-4"	17'-7"	15'-9"	13'-4"	23'-6"	21'-6"	20'-0"	17'-11"	14'-10"	12'-0"
	6000 1.8	21'-3"	19'-5"	18'-4"	17'-1"	14'-10"	15'-6"	15'-1"	14'-3"	13'-3"	12'-0"	23'-6"	21'-6"	20'-0"	17'-11"	14'-10"	25'-9"	23'-6"	22'-3"	20'-9"	16'-4"	14'-10"
	6500 1.8	21'-11"	20'-0"	18'-11"	17'-7"	14'-10"	16'-0"	15'-7"	14'-9"	13'-8"	12'-5"	24'-3"	22'-2"	20'-11"	18'-10"	14'-10"	29'-0"	26'-6"	25'-0"	23'-3"	19'-4"	14'-10"
	60 2.0	23'-3"	21'-3"	20'-1"	18'-8"	16'-4"	18'-0"	16'-7"	15'-7"	14'-6"	13'-2"	25'-9"	23'-6"	22'-3"	20'-9"	16'-4"	32'-10"	30'-0"	28'-3"	26'-0"	19'-6"	14'-10"
90 2.0	26'-3"	23'-11"	22'-6"	20'-11"	19'-1"	19'-0"	18'-7"	17'-6"	16'-2"	14'-8"	29'-0"	26'-6"	25'-0"	23'-3"	19'-4"	32'-10"	30'-0"	28'-3"	26'-0"	19'-6"	14'-10"	
14"	5000 1.7	22'-11"	21'-0"	19'-2"	17'-2"	13'-11"	18'-0"	16'-5"	15'-6"	14'-5"	13'-1"	24'-4"	21'-0"	19'-2"	17'-2"	13'-11"	26'-9"	23'-11"	21'-10"	19'-6"	15'-5"	12'-0"
	6000 1.8	24'-2"	22'-2"	20'-11"	19'-6"	15'-5"	18'-11"	17'-3"	16'-3"	15'-2"	13'-9"	26'-9"	23'-11"	21'-10"	19'-6"	15'-5"	29'-3"	26'-8"	25'-3"	21'-10"	16'-4"	12'-0"
	6500 1.8	24'-10"	22'-9"	21'-5"	20'-0"	15'-5"	19'-5"	17'-9"	16'-8"	15'-6"	14'-1"	27'-6"	25'-1"	22'-11"	20'-6"	15'-5"	32'-10"	30'-0"	28'-3"	26'-0"	19'-6"	12'-0"
	60 2.0	26'-5"	24'-2"	22'-9"	21'-3"	16'-4"	20'-8"	18'-10"	17'-9"	16'-5"	14'-11"	29'-3"	26'-8"	25'-3"	21'-10"	16'-4"	36'-4"	33'-2"	31'-3"	26'-2"	19'-7"	12'-0"
90 2.0	29'-9"	27'-1"	25'-6"	23'-8"	19'-6"	23'-3"	21'-1"	19'-9"	18'-4"	16'-7"	32'-10"	30'-0"	28'-3"	26'-0"	19'-6"	39'-8"	36'-2"	34'-1"	31'-9"	23'-10"	12'-0"	
16"	6000 1.8	26'-9"	24'-5"	23'-1"	20'-10"	15'-9"	20'-11"	19'-1"	18'-0"	16'-9"	15'-2"	29'-6"	25'-6"	23'-4"	20'-10"	15'-9"	36'-4"	33'-2"	31'-3"	26'-2"	19'-7"	12'-0"
	6500 1.8	27'-5"	25'-1"	23'-8"	21'-1"	15'-9"	21'-6"	19'-7"	18'-5"	17'-2"	15'-7"	30'-4"	26'-11"	24'-6"	21'-1"	15'-9"	36'-4"	33'-2"	31'-3"	26'-2"	19'-7"	12'-0"
	60 2.0	29'-3"	26'-8"	25'-2"	21'-10"	16'-4"	22'-10"	20'-10"	19'-7"	18'-2"	16'-4"	32'-4"	29'-6"	27'-4"	21'-10"	16'-4"	42'-11"	39'-1"	36'-10"	32'-11"	24'-8"	12'-0"
90 2.0	32'-11"	29'-11"	28'-2"	26'-2"	19'-7"	25'-8"	23'-4"	21'-11"	20'-3"	18'-4"	36'-4"	33'-2"	31'-3"	26'-2"	19'-7"	42'-11"	39'-1"	36'-10"	32'-11"	24'-8"	12'-0"	
18"	90 2.0	35'-11"	32'-8"	30'-9"	28'-7"	23'-10"	28'-1"	25'-5"	23'-11"	22'-2"	20'-0"	39'-8"	36'-2"	34'-1"	31'-9"	23'-10"	42'-11"	39'-1"	36'-10"	32'-11"	24'-8"	12'-0"
20"	90 2.0	38'-10"	35'-4"	33'-4"	30'-11"	24'-8"	30'-4"	27'-6"	25'-11"	24'-0"	21'-8"	42'-11"	39'-1"	36'-10"	32'-11"	24'-8"	42'-11"	39'-1"	36'-10"	32'-11"	24'-8"	12'-0"

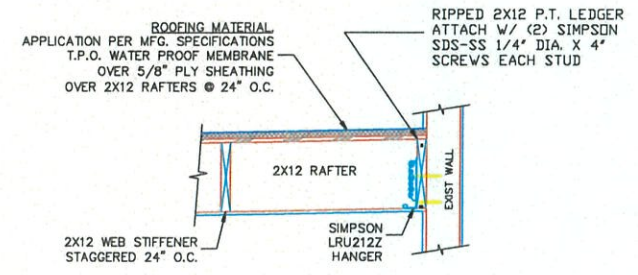
1 BCI SPAN CHART

DO NOT SCALE DRAWINGS!
VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION

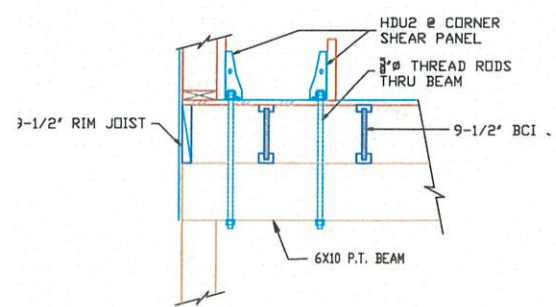
NOTE:
DETAIL DRAWINGS ARE TO BE USED AT THE CONTRACTORS DISCRETION AND PER THE ENGINEERS SPECIFICATIONS.
FOLLOW THE PRESCRIPTIVE PATH IF THE DETAILS SHOWN DO NOT APPLY.



5 DECK TO WALL
SCALE: 3/4" = 1'-0"



6 FRAMING DETAIL
SCALE: 3/4" = 1'-0"



7 HOLD DOWN @ CORNER SHEAR PANEL
SCALE: 3/4" = 1'-0"

FINAL PLANS

B.D.D.S

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Date: 2-14-2024
By: B.D.D.S., TEHB.
Description: FLOOR PLANS
Revision:

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ADDITION / REMODEL PLANS FOR:
DOROTHY BURKETT
15040 ROCKAWAY BEACH OREGON
FOUNDATION & FRAMING DETAILS

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DESIGN SERVICES

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503.798.1809
WARRENTON, OR 97146
BDD@SHARPER.NET

S1.1

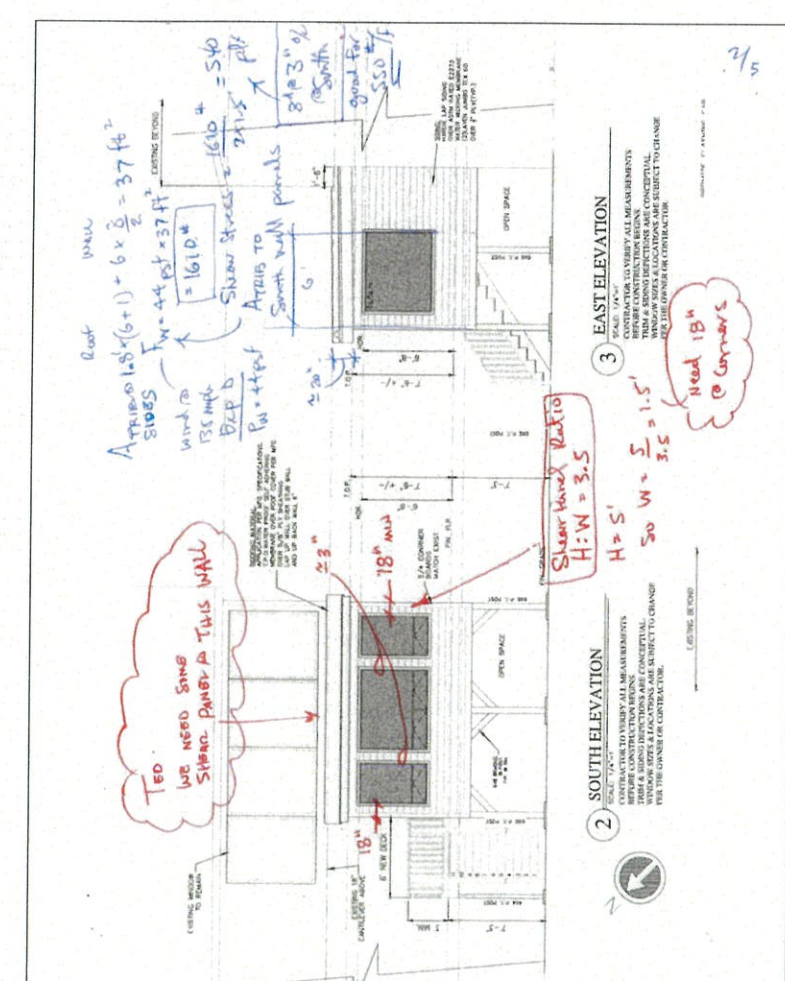
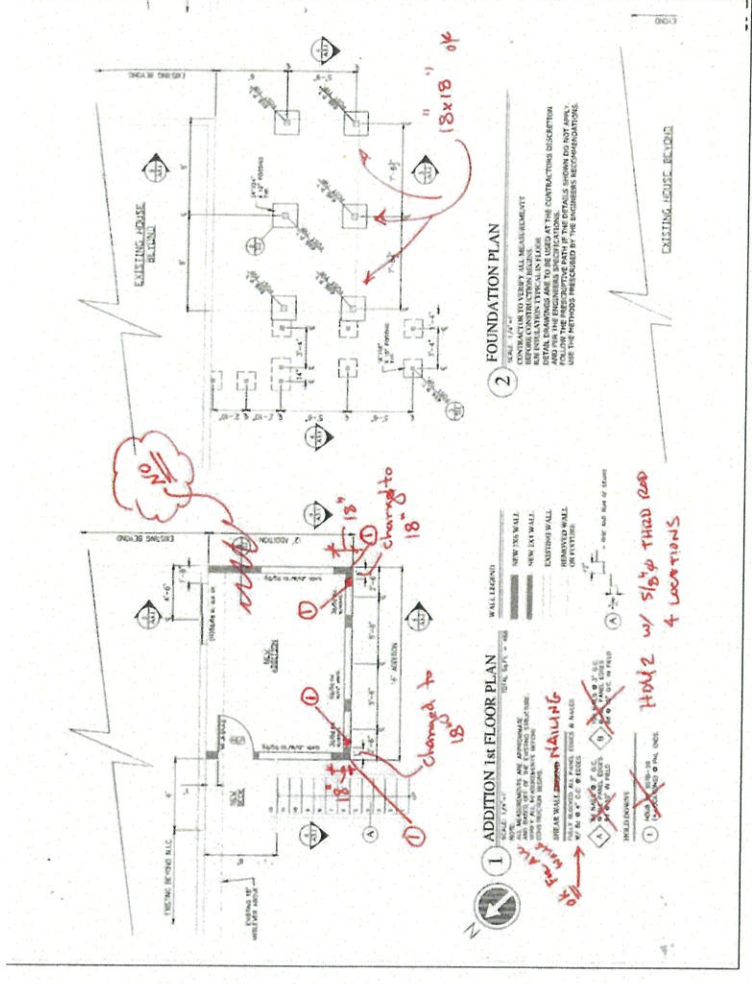
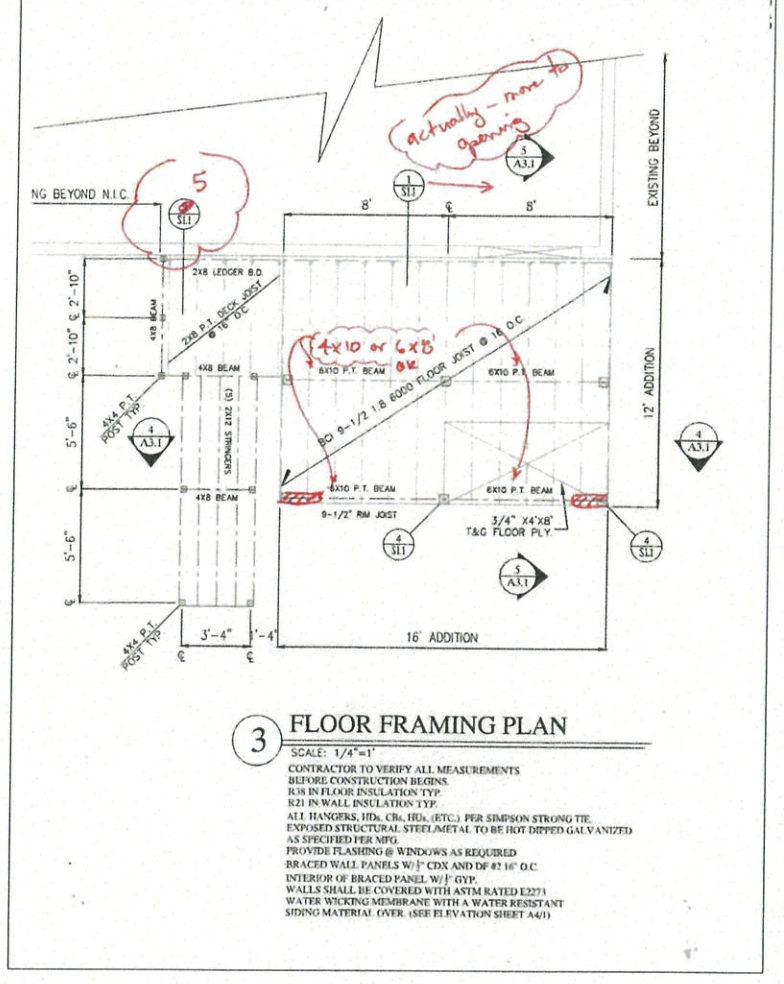
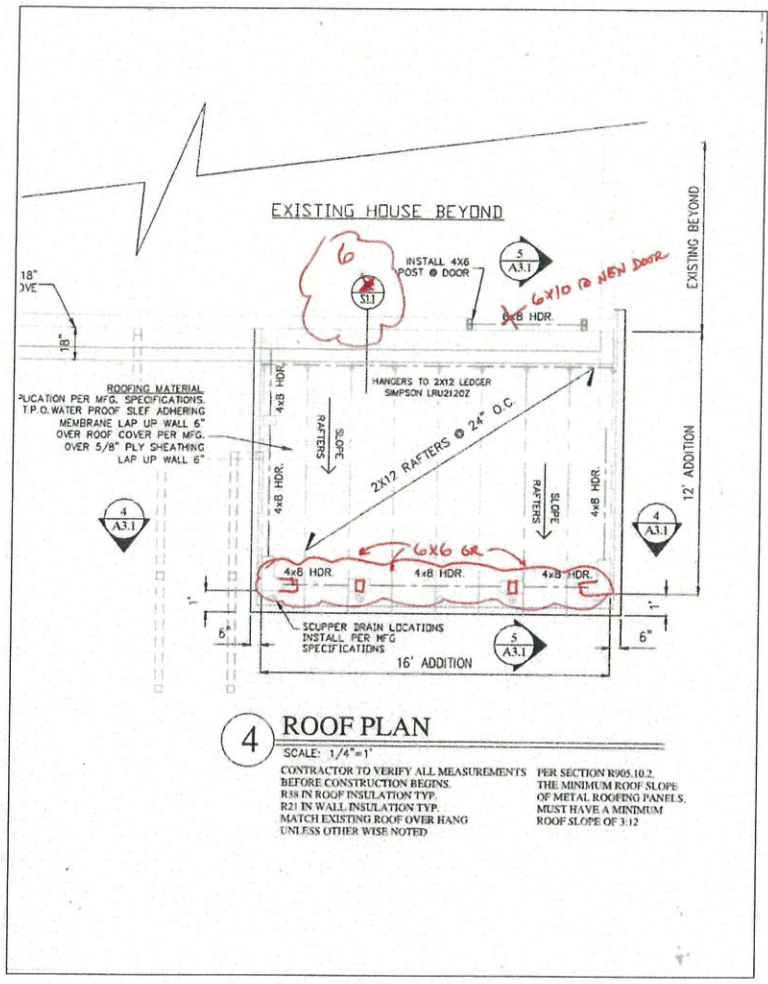
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ADDITION / REMODEL PLANS FOR:
 DOROTHY BURKETT
 15040 ROCKAWAY BEACH OREGON
ENGINEERS NOTES & CALCULATIONS

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903.861.0449
 WARRINGTON, OR 97146
 BDDSD@CHARTER.NET

S2.1



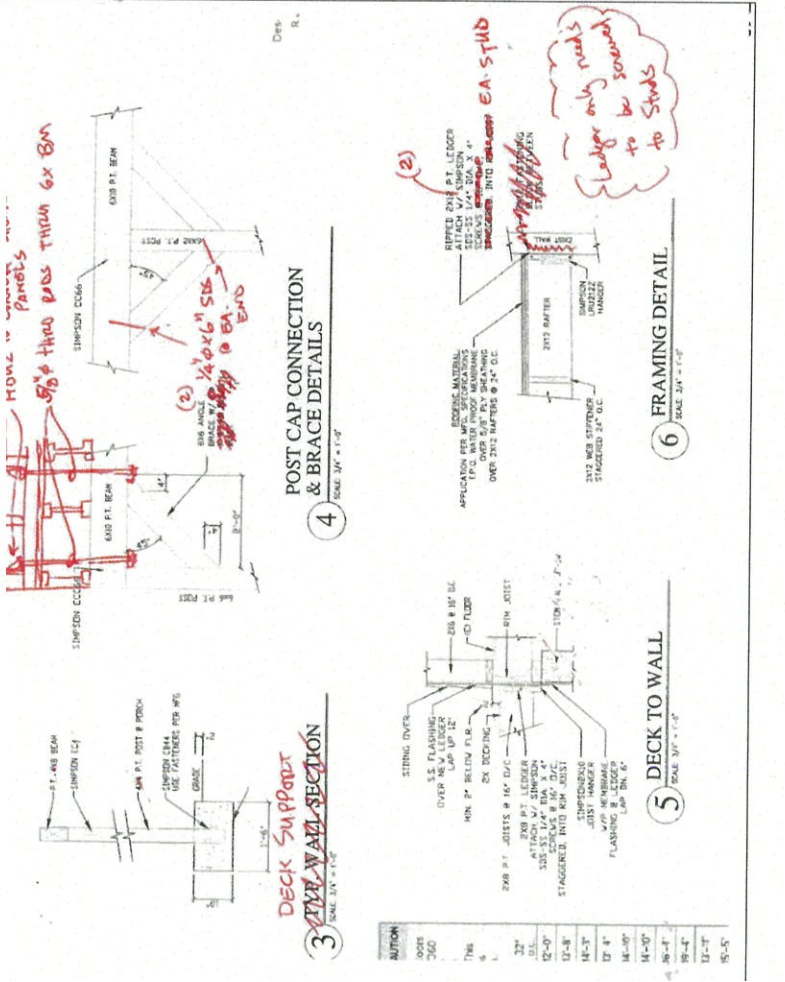
Check Rafters - $L=12\text{ ft}$ $w=(20+15)\text{ psf} \times 2' = 70\text{ plf}$
 $M = \frac{0.7(12)^2}{8} = 15\text{ k-in}$ $S_{req'd} = \frac{15}{0.85(1.5)} = 15.5$
 Use 2x10 @ 24" O.C. MIN $S_x = 21.1\text{ in}^3$

Check Hdr - max @ 6" window
 $w = \left(\frac{12}{2} + 1\right)(20+15)\text{ psf} = 245\text{ plf}$
 $M = \frac{245(6)^2}{8} = 13\text{ k-in}$ Small

Try 6x6 or 4x8 (check shear)
 $F_v = \frac{245}{2} \times \frac{6}{1.5} \times 1.5 = 5.5 \times 5.5 = 36\text{ psi} < 95\text{ psi}$

Check Floor Beams $L=8'$
 $w_{max @ center} = \frac{w}{2} = \frac{70}{2} = 35\text{ plf}$
 $w_{max @ edge} = \left(\frac{12}{2} + 1\right)35 + \frac{6}{2}(55) + 8 \times 12 = 505\text{ plf}$
 $M = \frac{505(8)^2}{8} = 48.6\text{ k-in}$
 $S_{req'd} = \frac{48.6}{0.9} = 54\text{ in}^3$ Use 6x10 $S_x = 78\text{ in}^3$
 (could be 6x8 w/ clear span actually 7 1/2 ft)

Prox @ Center Post = $8' \times 505\text{ plf} = 4040\text{ lbs}$
 $f_{ty} @ 1500\text{ psf allowable} = \sqrt{\frac{4000}{1500}} = 1.64\text{ or }20 \times 20\text{ mm}$



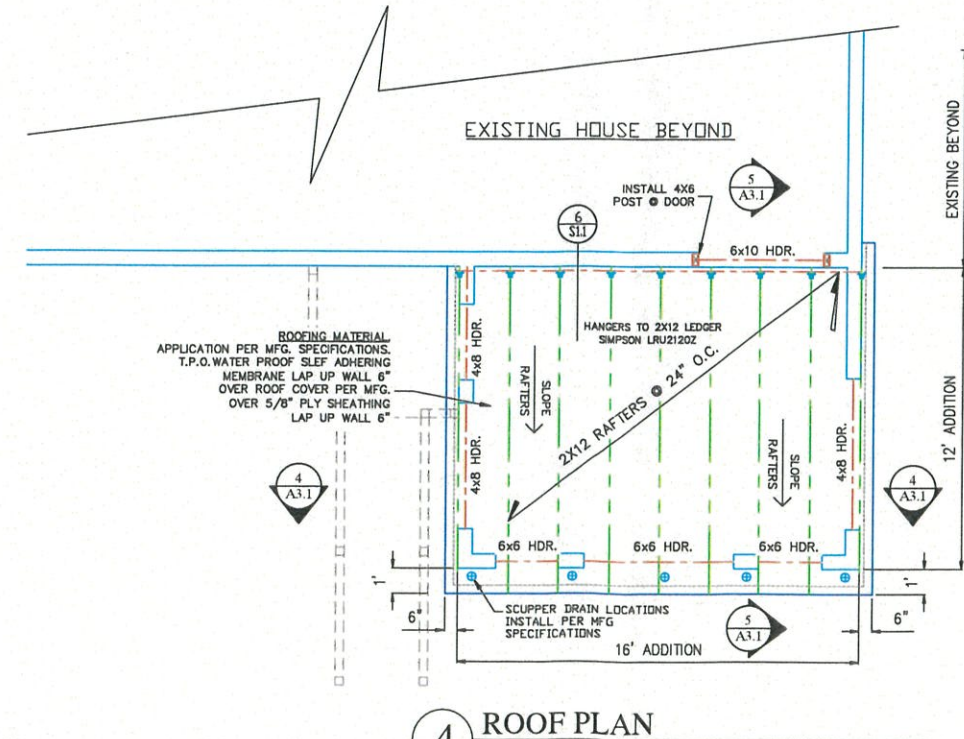
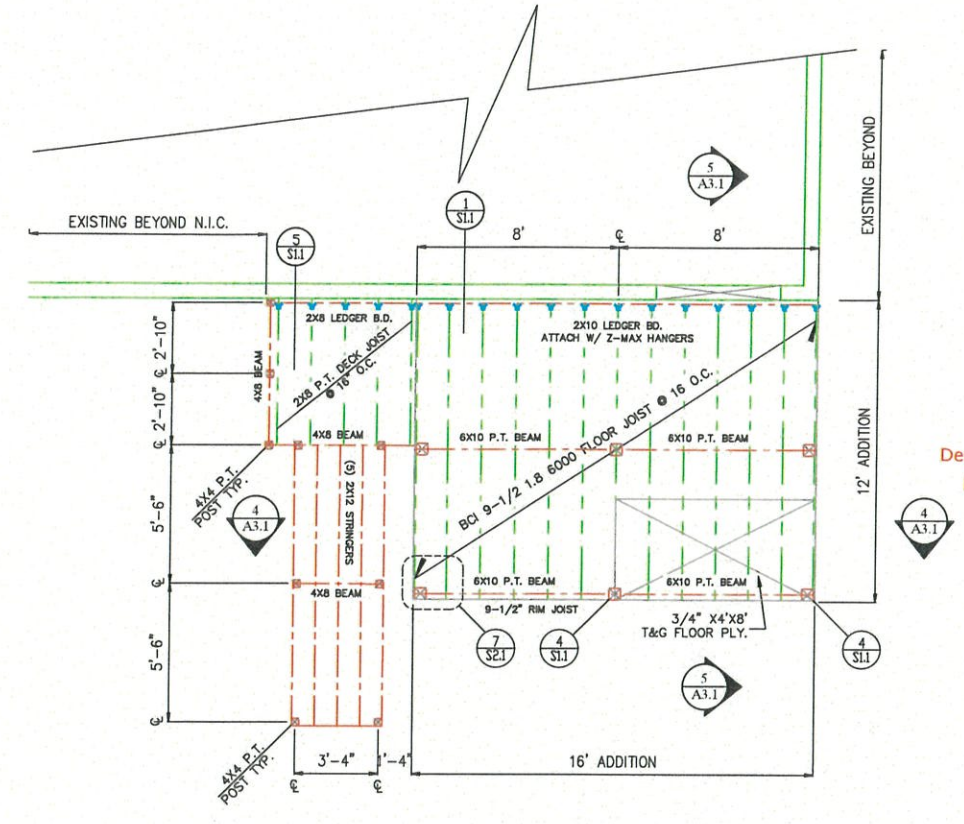
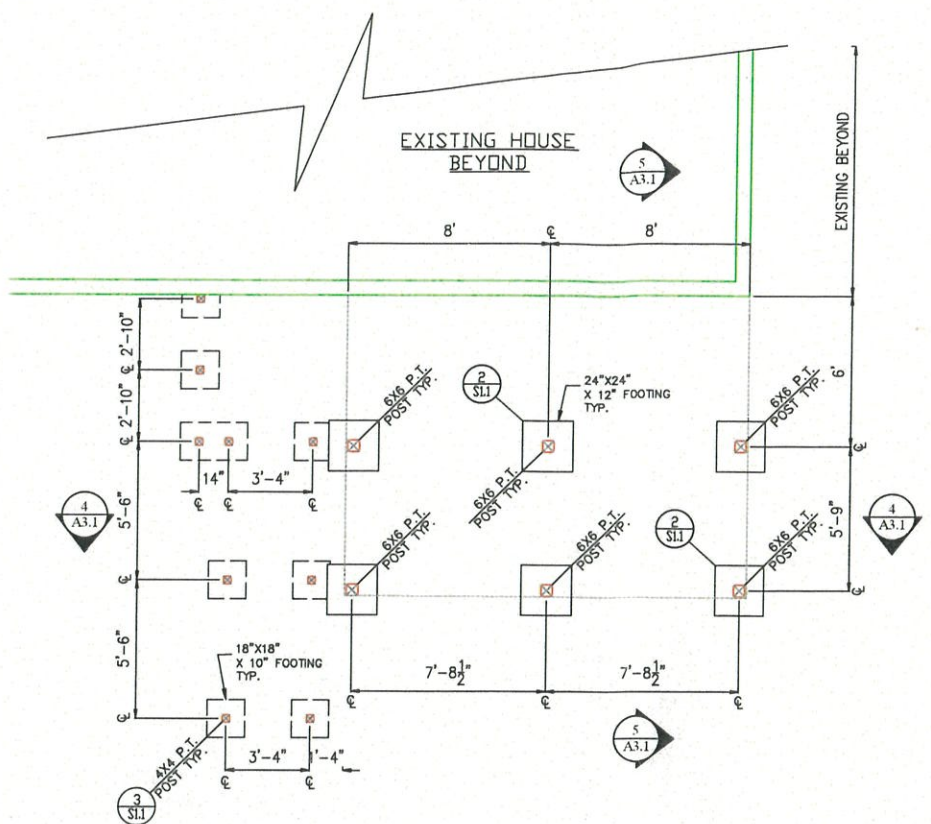
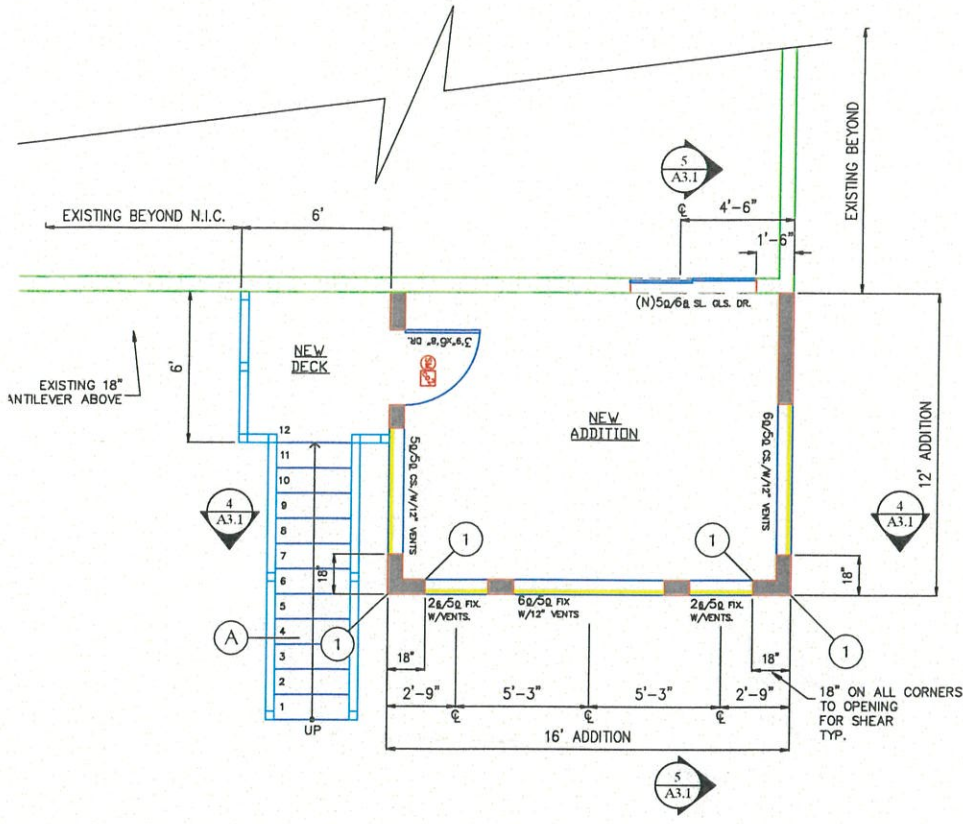
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Date: 2-14-2024
 By: B.D.D.S., TEHB.
 Description: FLOOR PLANS
 Revision:

ADDITION / REMODEL PLANS FOR:
 DORTHY BURKETT
 15040 ROCKAWAY BEACH OREGON
FLOOR & FRAMING PLANS

B.D.D.S
 BRINKMAN DRAFTING,
 DESIGN SERVICES

503.861.0645
 503.791.8009
 WARRENTON, OR 97146
 BOB@BRINKMAN-DC.COM
 BOB@BRINKMAN-DC.COM

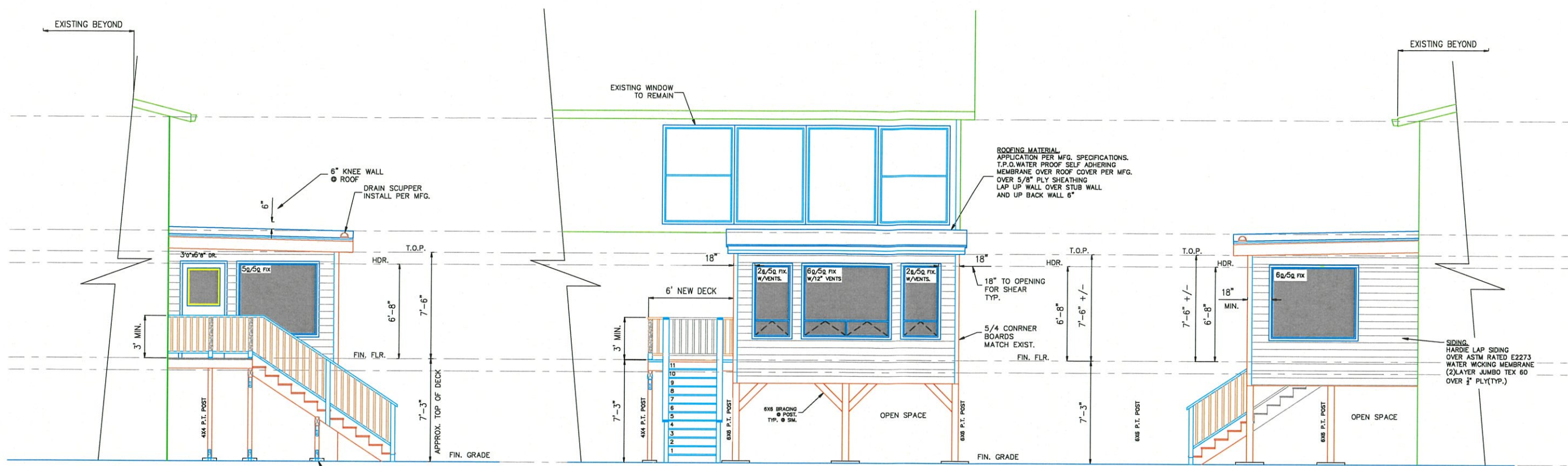


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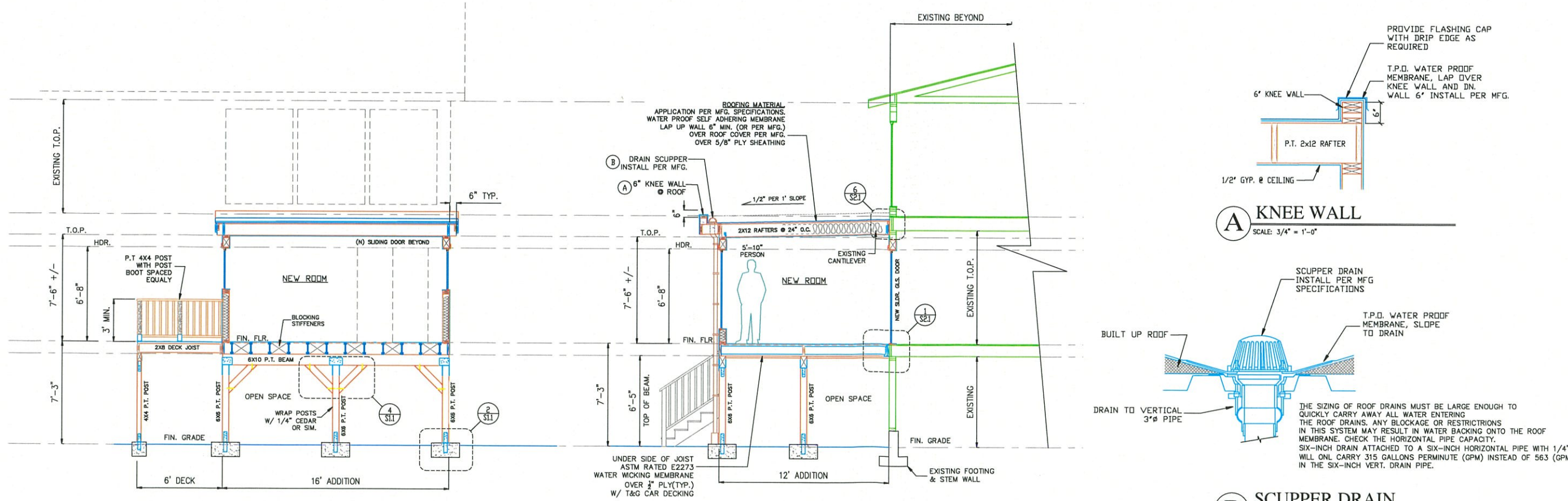
Date: 2-14-2024
 By: B.D.D.S. TEHB.
 Description: ELEVATIONS
 Revision:



1 WEST ELEVATION
 SCALE: 1/4"=1'
 CONTRACTOR TO VERIFY ALL MEASUREMENTS BEFORE CONSTRUCTION BEGINS. TRIM & SIDING DEPICTIONS ARE CONCEPTUAL. WINDOW SIZES & LOCATIONS ARE SUBJECT TO CHANGE PER THE OWNER OR CONTRACTOR.

2 SOUTH ELEVATION
 SCALE: 1/4"=1'
 CONTRACTOR TO VERIFY ALL MEASUREMENTS BEFORE CONSTRUCTION BEGINS. TRIM & SIDING DEPICTIONS ARE CONCEPTUAL. WINDOW SIZES & LOCATIONS ARE SUBJECT TO CHANGE PER THE OWNER OR CONTRACTOR.

3 EAST ELEVATION
 SCALE: 1/4"=1'
 CONTRACTOR TO VERIFY ALL MEASUREMENTS BEFORE CONSTRUCTION BEGINS. TRIM & SIDING DEPICTIONS ARE CONCEPTUAL. WINDOW SIZES & LOCATIONS ARE SUBJECT TO CHANGE PER THE OWNER OR CONTRACTOR.



4 FRONT SECTION
 SCALE: 1/4"=1'

5 SIDE SECTION
 SCALE: 1/4"=1'

A KNEE WALL
 SCALE: 3/4" = 1'-0"

B SCUPPER DRAIN
 SCALE: N.T.S.

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ADDITION / REMODEL PLANS FOR:
 DOROTHY BURKETT
 15040 ROCKAWAY BEACH OREGON
 ELEVATIONS / SECTIONS

B.D.D.S
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WASHINGTON
 OREGON
 THE GREATER N.W.

503.861.0449
 503.861.0448
 WASHINGTON, OR 97146
 BDDSD@CHARTR.NET