



Land of Cheese, Trees and Ocean Breeze

NON-CONFORMING MINOR REVIEW #851-24-000283-PLNG: BURKETT/HIGGINS

*NOTICE TO MORTGAGEE, LIENHOLDER, VENDOR OR SELLER:
ORS 215 REQUIRES THAT IF YOU RECEIVE THIS NOTICE,
IT MUST BE PROMPTLY FORWARDED TO THE PURCHASER*

October 9, 2024

Dear Property Owner:

This is to confirm that the Tillamook County Department of Community Development **APPROVED WITH CONDITIONS** the above-cited Non-Conforming Minor Review on October 9, 2024. A copy of the application, along with a map of the request area and the applicable criteria for review are available for inspection on the Tillamook County Department of Community Development website: <https://www.tillamookcounty.gov/commdev/landuseapps> and is also available for inspection at the Department of Community Development office located at 1510-B Third Street, Tillamook, Oregon 97141.

Appeal of this decision. This decision may be appealed to the Tillamook County Planning Commission, who will hold a public hearing. Forms and fees must be filed in the office of this Department before **4:00pm on October 21, 2024**. This decision will become final on October 21, 2024, unless an appeal is filed in accordance with Tillamook County Land Use Ordinance Article 10.

Request: Non-Conforming Minor Review request to allow for the expansion and alteration of an existing non-conforming single-family dwelling, with the removal of an existing deck on the south/southwest facing side of the dwelling and construction of a sunroom in the same location.

Location: The property is located within the Unincorporated Community of Barview/Twin Rocks/Watseco at 15040 Highway 101 North, a state highway, and designated as Tax Lot 1300 in Section 17CD of Township 1 North, Range 10 West of the Willamette Meridian, Tillamook County, Oregon.

Zone: Community High Density Urban Residential (CR-3) Zone

**Applicant/
Property**

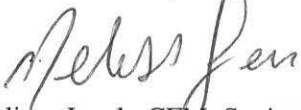
Owner: Bob Higgins and Dorothy Burkett, 15040 Hwy 101 N, Rockaway Beach, OR 97136

CONDITIONS OF APPROVAL

Failure to comply with the Conditions of Approval and Tillamook County Land Use Ordinance provisions may result in nullification of this approval or citations.

1. The applicant/property owner shall obtain all required Federal, State, and Local permits, including demolition permits, as applicable.
2. All applicable permits, including a Consolidated Building/Zoning Permit Application from the Tillamook County Department of Community Development shall be obtained prior to construction of the proposed expansion.
3. The applicant/property owner shall submit a site plan drawn to scale. The site plan shall be submitted to the Department of Community Development at the time of Consolidated Building/Zoning Permit Application submittal.
4. Development shall be limited to the expansion of the existing dwelling as indicated on the submitted site plan included in 'Exhibit B' of this report. Applicant/property owner shall otherwise comply with the applicable standards of TCLUO Section 3.016: Community High Density Urban Residential (CR-3) zone for development of the property.
5. This approval expires if a Building Permit is not applied for within two (2) years of issuance of this approval, or an extension is requested from, and approved by this Department prior to its expiration.

Sincerely,
Tillamook County Department of Community Development



Melissa Jenck, CFM, Senior Planner

Sarah Absher, Director, CFM

Enc.: Vicinity, Assessor's and Zoning maps



Land of Cheese, Trees and Ocean Breeze

NON-CONFORMING MINOR REVIEW #851-24-000283-PLNG: BURKETT/HIGGINS

ADMINISTRATIVE DECISION AND STAFF REPORT

DECISION: Approved with Conditions

DECISION DATE: October 9, 2024

REPORT PREPARED BY: Melissa Jenck, CFM, Senior Planner

I. GENERAL INFORMATION:

Request: Non-Conforming Minor Review request to allow for the expansion and alteration of an existing non-conforming single-family dwelling, with the removal of an existing deck on the south/southwest facing side of the dwelling and construction of a sunroom in the same location.

Location: The property is located within the Unincorporated Community of Barview/Twin Rocks/Watseco at 15040 Highway 101 North, a state highway, and designated as Tax Lot 1300 in Section 17CD of Township 1 North, Range 10 West of the Willamette Meridian, Tillamook County, Oregon.

Zone: Community High Density Urban Residential (CR-3) Zone

**Applicant/
Property Owner:** Bob Higgins and Dorothy Burkett, 15040 Hwy 101 N, Rockaway Beach, OR 97136

II. PROPERTY DESCRIPTION:

According to Tillamook County Assessor’s records, the subject property is approximately 0.12 acres (approximately 5,227 sq. ft.) and is developed with an existing one and a half-story 1,276 square foot single-family dwelling (Exhibit A). Tillamook County Assessor’s records indicate the existing house was built in 1940 (Exhibit A).

The surrounding area is also zoned Community High Density Urban Residential (CR-3) Zone and is developed with residential and accessory structures (Exhibit A). The property is surrounded by Community Commercial (CC) zoned properties and Community Single-Family Residential (CSFR) properties to the east (Exhibit B).

The subject property contains no mapped wetlands according to the Statewide Wetlands Inventory Map. The property is in FEMA Flood Zone 'X', an area of minimal flood hazard, as depicted on FEMA FIRM 41057C0379F dated September 28, 2018 (Exhibit A).

Applicant is proposing to remove an existing deck located in the rear yard of the subject property, and replace it with a sunroom containing enclosed living space (Exhibit B). The expansion will include relocating exterior stairs for access into the building (Exhibit B).

III. APPLICABLE ORDINANCE AND COMPREHENSIVE PLAN PROVISIONS:

The desired use is governed through the following sections of the Tillamook County Land Use Ordinance (TCLUO). The suitability of the proposed use, in light of these criteria, is discussed in Section IV of this report:

- A. TCLUO Section 3.016: Community High Density Urban Residential Zone (CR-3)
- B. TCLUO Article VII: Nonconforming Uses and Structures

IV. ANALYSIS:

A. **TCLUO Section 3.016:** Community High Density Urban Residential Zone (CR-3)

(1) *PURPOSE: The purpose of the CR-3 zone is to designate areas for a medium- to high density mix of dwelling types and other, compatible, uses. The CR-3 zone is intended for densely-developed areas or areas that are suitable for high-density urban development because of level topography and the absence of hazards, and because public facilities and services can accommodate a high level of use.*

(2) *USES PERMITTED OUTRIGHT: In the CR-3 zone, the following uses and their accessory uses are permitted outright, and are subject to all applicable supplementary regulations contained in this ordinance.*

(a) *One, two three, or four-family dwelling*

Findings: Staff find that the residential use of a single-family dwelling is a use permitted outright in the underlying zone.

...
(4) *STANDARDS: Land divisions and development in the CR-3 zone shall conform to the following standards, unless more restrictive supplemental regulations apply:*

...
(d) *The minimum front yard shall be 20 feet.*

(e) *The minimum side yard shall be 5 feet; on the street side of a corner lot it shall be no less than 15 feet.*

(f) *The minimum rear yard shall be 20 feet; on a corner lot it shall be no less than 5 feet.*

Findings: The applicant is proposing an alteration of an existing deck and converting it to a sunroom for living space towards the south/southwest (rear) property line (Exhibit B). Staff find that the proposed development will not comply with the 20-foot rear yard setback standard per TCLUO Section 3.016 CR-3 Zone.

The dwelling currently maintains a 15-ft front yard setback and 10-ft side yards (Exhibit B). The dwelling encroaches on the 20-ft rear setback as outlined in TCLUO Section 3.016: Community High Density Urban Residential zone (CR-3), therefore the proposed expansion is subject to the provisions of Article VII: Nonconforming uses and structures.

B. Article VII, Section 7.020: Nonconforming Uses and Structures

The purpose of the NONCONFORMING USES AND STRUCTURES provisions are to establish standards and procedures regulating the continuation, improvement and replacement of structures and uses which pre-date, and which do not comply with, this Ordinance. The intent is to allow changes to nonconforming uses and structures in a manner that does not increase the level of adverse impact to surrounding areas. These provisions are intended to be consistent with ORS 215.130.

TCLUO Section 7.020(1): Definitions: A nonconforming structure is defined in the Tillamook County Land Use Ordinance (TCLUO) Section 7.020 as “A structure that does not conform to current requirements of this Ordinance but which legally existed at the time the applicable section(s) of the Ordinance took effect.”

Findings: County records indicate the single-family dwelling was built in 1950, per Assessors records (Exhibit A). The structure is considered non-conforming to current Community High Density Urban Residential Zone (CR-3) zoning standards as stated above (Exhibits A and B).

TCLUO Section 7.020(4): Alteration or Expansion: indicates that the expansion of a nonconforming structure shall be subject to satisfaction of the Nonconforming Minor Review criteria.

Findings: Staff find that Applicant’s request constitutes an expansion of a nonconforming structure and is therefore subject to the Minor Nonconforming Review process which is addressed below.

TCLUO Article X requires notice of Non-Conforming Minor Review applications to be mailed to landowners within 250 feet of the subject property and applicable agencies. Staff must allow at least 14 days for written comment and must consider received comments in making the decision.

Findings: A notice of the request was mailed to property owners within 250 feet of the subject property and impacted agencies August 1, 2024. No comments were received.

1. Article VII, Section 11 Minor Review

Application is made under the fee and procedures for a Type II Administrative Review and is reviewed using the following review criteria. A request may be permitted if:

(a) The request will have no greater adverse impact on neighboring areas than the existing use or structure when the current zoning went into effect, considering:

i. A comparison of existing use or structure with the proposed change using the following factors:

- (1) Noise, vibration, dust, odor, fumes, glare, or smoke detectable at the property line or off-site;*
- (2) Number and kinds of vehicular trips to the site;*

Findings: Applicant states the uses will remain residential and no additional vehicle activity or noise, vibration, dust, odor, fumes, glare or smoke will be generated for this continued residential use (Exhibit B).

Staff find that the proposed expansion of the dwelling and location of improvements will not affect the listed items. Staff find these criteria are met.

- (3) Amount and nature of outside storage, loading and parking;*
- (4) Visual impact;*
- (5) Hours of operation;*
- (6) Effect on existing vegetation;*
- (7) Effect on water drainage and water quality;*

Findings: Applicant's proposal does not identify additional outside storage as part of the proposed development, and no impacts to existing parking areas (Exhibit B). Applicant details the proposed addition will maintain a maximum height of 15-ft 9-inches, which is below the maximum 24-ft height allowance of the CR-3 zone (Exhibit B). Applicant states the proposed development does not generate hours of operation as it remains a residential use. Applicant details the original deck had pavers with no vegetation, therefore vegetation will not be further impacted by proposed placement of a sunroom as it is within the area previously occupied by the deck (Exhibit B). Applicant has proposed a drainage system collecting the roof drainage from the sunroom to be routed into the ground for absorption (Exhibit B).

Staff find these criteria are met.

(8) *Service or other benefit to the use or structure provides to the area; and*

(9) *Other factors relating to conflicts or incompatibility with the character or needs of the area.*

Findings: Applicant details the property will remain a residential dwelling and is located in an area improved with other residential dwellings (Exhibit B).

Staff find that the use of the single-family dwelling will remain residential in nature. Any services or benefits that could be provided remain unchanged. Staff find these criteria are met.

ii. The character and history of the use and of development in the surrounding area.

Findings: County records indicate the single-family dwelling was permitted in 1950, according to County Assessors' records, is located in an area predominantly consisting of residential uses, and the dwelling will remain devoted to residential use (Exhibits A and B). Staff find that the subject property is served by an existing state highway in a developed area consistent with the Applicant's property. Surrounding and adjacent properties are similar in nature and are consistent with the character and history of the use and development in the surrounding area. Staff find this criterion met.

(b) The request shall maintain a minimum separation of six feet between structures, and comply with the clear vision area of Section 4.010. The Department may require the applicant to submit a site survey or similar information to assist in making these determinations.

Findings: The subject property is not a corner lot and the requirements of TCLUO Section 4.010 are not applicable (Exhibit A and Exhibit B). The proposed site plan does not indicate detached structures (Exhibit A and Exhibit B).

Staff finds that the proposed development will have no greater adverse impact on neighboring areas than the existing structures particularly given the structure will continue to be devoted to single-family residential use, and the proposed expansion of the sunroom is within the general footprint of the original deck (Exhibit B). Staff find these criteria are met.

IV. DECISION: APPROVED WITH CONDITIONS

Staff concludes that the applicant has satisfied the review criteria, and can meet all applicable requirements at the time of application. Therefore, Staff approves this request. No further development shall occur on the subject property without prior land use approval. This approval does not address any additional development of the subject property.

By accepting this approval, the applicant and property owner agrees to indemnify, defend, save, and hold harmless Tillamook County, and its officers, agents, and employees from any claim, suit, action, or activity undertaken under this approval, including construction under a Building Permit approved subject to this approval. The applicant and property owner shall obtain all of the necessary local, state, and federal permits and comply with all applicable regulations for the proposed construction.

Appeal of this decision. This decision may be appealed to the Tillamook County Planning Commission, who will hold a public hearing. In such case, forms and fees must be filed in the office of this Department before **4:00 PM on October 21, 2024.**

V. CONDITIONS OF APPROVAL:

Failure to comply with the Conditions of Approval and Tillamook County Land Use Ordinance provisions may result in nullification of this approval or citations.

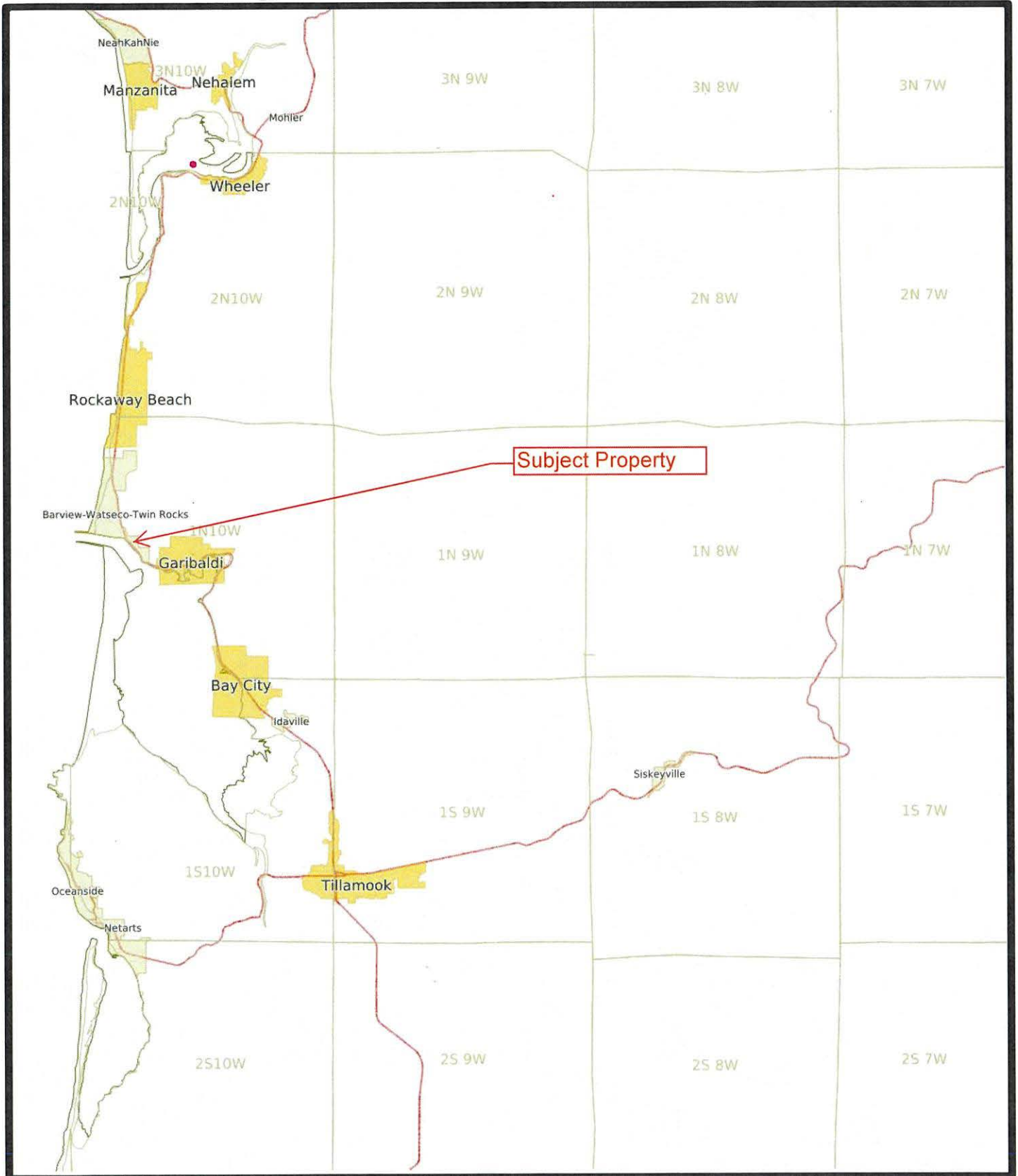
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VI. EXHIBITS

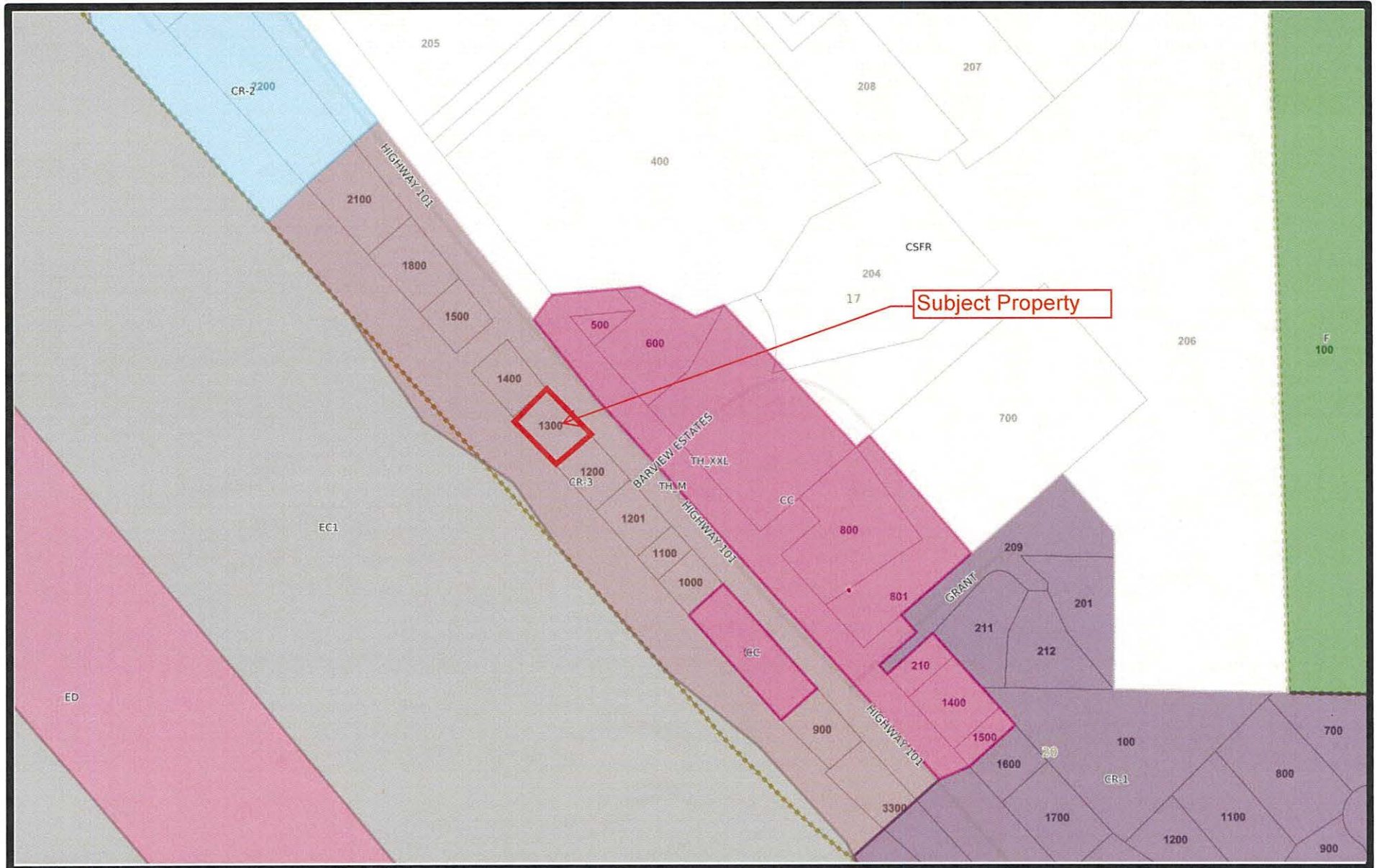
- A. Vicinity, Assessor's and Zoning maps, Neahkahnie Community Plan
- B. Applicant's Submittal

EXHIBIT A

Vicinity Map



Zoning Map

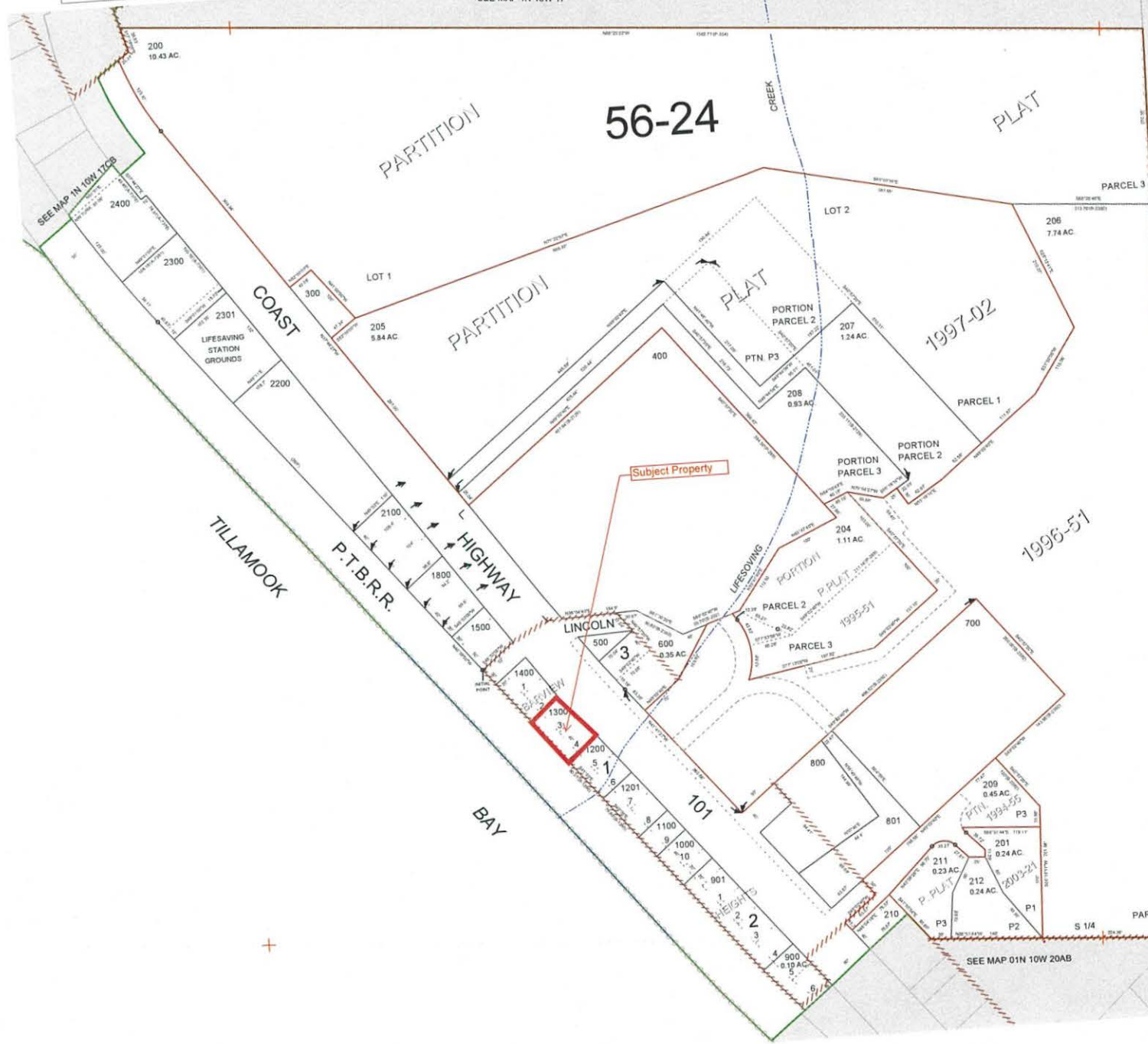


S.E. 1/4 S.W. 1/4 SEC. 17 T. 1N. R. 10W. W.M.
Tillamook County
1" = 100'

01N10W17CD
BARVIEW

FOR ASSESSMENT AND TAXATION ONLY. NOT SUITABLE FOR
LEGAL, ENGINEERING, OR SURVEY PURPOSES

CANCELLED:
202
1600
1700
1900
2000
100
2500
203



SEE MAP 1N 10W 17

SEE MAP 01N 10W 20AB

BARVIEW
01N10W17CD
REVISED 2/18/16, WS

Tillamook County
2024 Real Property Assessment Report
 Account 69455

Map	1N1017CD01300	Tax Status	Assessable
Code - Tax ID	5624 - 69455	Account Status	Active
		Subtype	NORMAL
Legal Descr	Multiple Lots - See legal report for full description		
Mailing	HIGGINS, BOB E & BURKETT, DOROTHY M & 15040 HWY 101 N ROCKAWAY BEACH OR 97136	Deed Reference #	2019-3253
		Sales Date/Price	06-04-2019 / \$275,000
		Appraiser	EVA FLETCHER
Property Class	101 MA SA NH		
RMV Class	101 05 BV 537		

Site	Situs Address	City
1	15040 HWY 101 N	COUNTY

Value Summary					
Code Area	RMV	MAV	AV	RMV Exception	CPR %
5624	Land 179,250		Land	0	
	Impr 393,030		Impr	0	
Code Area Total	572,280	200,370	200,370	0	
Grand Total	572,280	200,370	200,370	0	

Land Breakdown									
Code Area	ID #	RFPD	Ex	Plan Zone	Value Source	Trend %	Size	Land Class	Trended RMV
5624					LANDSCAPE - FAIR	100			500
	1	<input checked="" type="checkbox"/>		CR-3	Market	113	0.12 AC		162,250
					OSD - AVERAGE	100			16,500
Code Area Total							0.12 AC		179,250

Improvement Breakdown									
Code Area	ID #	Year Built	Stat Class	Description	Trend %	Total Sqft	Ex%	MS Acct	Trended RMV
5624	1	1940	134	One and 1/2 story w/basement	131	1,276			393,030
Code Area Total						1,276			393,030

Exemptions / Special Assessments / Notations			
Code Area	5624		
Special Assessments		Amount	Year Used
■ SOLID WASTE		12.00	2024

Comments 6-17-02 REMODEL IS COMPLETE. EFFECTIVE AGE 1982. GB 3/10/03 ADDED ATTIC & COVERED DECK. GB 03/20/13 Reappraised land. Tabled values.ef

National Flood Hazard Layer FIRMette



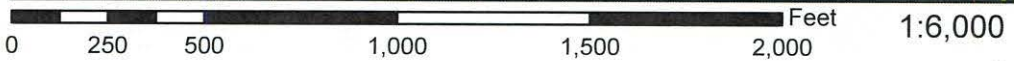
123°56'40"W 45°34'11"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- | | | |
|-----------------------------|------------------|---|
| SPECIAL FLOOD HAZARD AREAS | | Without Base Flood Elevation (BFE)
<i>Zone A, V, A99</i> |
| | | With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i> |
| | | Regulatory Floodway |
| OTHER AREAS OF FLOOD HAZARD | | 0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i> |
| | | Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i> |
| | | Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i> |
| | | Area with Flood Risk due to Levee <i>Zone D</i> |
| OTHER AREAS | | NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i> |
| | | Effective LOMRs |
| | | Area of Undetermined Flood Hazard <i>Zone</i> |
| GENERAL STRUCTURES | | Channel, Culvert, or Storm Sewer |
| | | Levee, Dike, or Floodwall |
| OTHER FEATURES | | 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation |
| | | 17.5 Cross Sections with 1% Annual Chance Water Surface Elevation |
| | | Coastal Transect |
| | | Base Flood Elevation Line (BFE) |
| | | Limit of Study |
| | | Jurisdiction Boundary |
| | | Coastal Transect Baseline |
| | Profile Baseline | |
| MAP PANELS | | Digital Data Available |
| | | No Digital Data Available |
| | | Unmapped |
- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



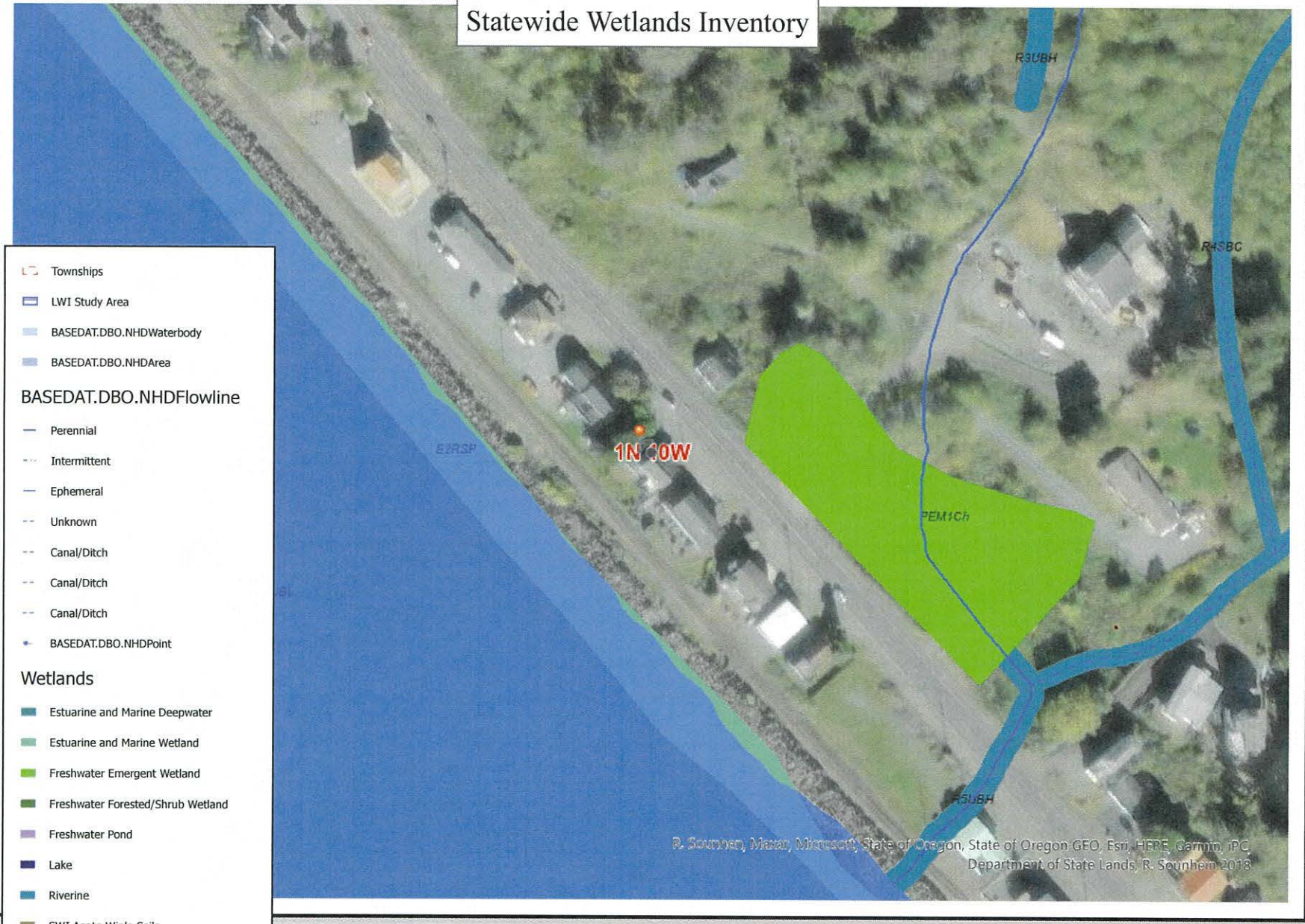
123°56'3"W 45°33'46"N

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **10/8/2024 at 6:55 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Statewide Wetlands Inventory



- Townships
- LWI Study Area
- BASEDAT.DBO.NHDWaterbody
- BASEDAT.DBO.NHDArea

BASEDAT.DBO.NHDFlowline

- Perennial
- Intermittent
- Ephemeral
- Unknown
- Canal/Ditch
- Canal/Ditch
- Canal/Ditch
- BASEDAT.DBO.NHDPPoint

Wetlands

- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Riverine
- SWI Agate-Winlo Soils
- SWI Predominantly Hydric Soil Map Units

R. Sounhen, Masar, Microsoft, State of Oregon, State of Oregon GEO, Esri, HERE, Garmin, iPC, Department of State Lands, R. Sounhen 2018



Date: 10/8/2024



The Statewide Wetlands Inventory (SWI) represents the best data available at the time this map was published and is updated as new data becomes available. In all cases, actual field conditions determine the presence, absence and boundaries of wetlands and waters (such as creeks and ponds). An onsite investigation by a wetland professional can verify actual field conditions.

EXHIBIT B



PLANNING APPLICATION

OFFICE USE ONLY	
Date Stamp	
RECEIVED	
MAY 14 2024	
BY: <u>Dropped off JS</u>	
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Received by:	
Receipt #:	
Fees:	
Permit No: 851- <u>21-00083</u> PLNG	

Applicant (Check Box if Same as Property Owner)

Name: Dorothy Burkett Phone: 707-350-2437
 Address: 15040 Hwy 101 N
 City: Rockaway Beach State: OR Zip: 97136
 Email: linitouttackie@hotmail.com

Property Owner

Name: _____ Phone: _____
 Address: _____
 City: _____ State: _____ Zip: _____
 Email: _____

Request: REMOVE DECK AND BUILD ALL SEASON ROOM IN THE SPACE.

Type II

- Farm/Forest Review
- Conditional Use Review
- Variance
- Exception to Resource or Riparian Setback
- Nonconforming Review (Major or Minor)**
- Development Permit Review for Estuary Development
- Non-farm dwelling in Farm Zone
- Fore-dune Grading Permit Review
- Neskowin Coastal Hazards Area

Type III

- Detailed Hazard Report
- Conditional Use (As deemed by Director)
- Ordinance Amendment
- Map Amendment
- Goal Exception
- Nonconforming Review (As deemed by Director)
- Variance (As deemed by Director)

Type IV

- Ordinance Amendment
- Large-Scale Zoning Map Amendment
- Plan and/or Code Text Amendment

Location:

Site Address: 15040 Hwy 101 N Rockaway Beach OR 97136
 Map Number: IN 110 17C0 1300
Township Range Section Tax Lot(s)

Clerk's Instrument #: _____

Authorization

This permit application does not assure permit approval. The applicant and/or property owner shall be responsible for obtaining any other necessary federal, state, and local permits. The applicant verifies that the information submitted is complete, accurate, and consistent with other information submitted with this application.

Dorothy Burkett
 Property Owner Signature (Required)
Dorothy Burkett
 Applicant Signature

4/22/2024
 Date
4/22/2024
 Date

ARTICLE VII: MINOR REVIEW CRITERIA

(11) MINOR REVIEW: Application is made under the fee and procedures for a Type II Administrative Review and is reviewed using the following review criteria. A request may be permitted if:

- (a) The request will have no greater adverse impact on neighboring areas than the existing use or structure when the current zoning went into effect, considering:
 - i. A comparison of existing use or structure with the proposed change using the following factors:
 - 1. Noise, vibration, dust, odor, fumes, glare, or smoke detectable at the property line or off-site;
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 - 3. Amount and nature of outside storage, loading and parking;
 - 4. Visual impact;
 - 5. Hours of operation;
 - 6. Effect on existing vegetation;
 - 7. Effect on water drainage and water quality;
 - 8. Service or other benefit to the use or structure provides to the area; and
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- (b) The request shall maintain a minimum separation of six feet between structures and comply with the clear vision area of Section 4.010.

The Department may require the applicant to submit a site survey or similar information to assist in making these determinations.



PLANNING APPLICATION

Applicant (Check Box if Same as Property Owner)

Name: Dorothy Burkett Phone: 707-350-2437
 Address: 15040 Hwy 101 N
 City: Rockaway Beach State: OR Zip: 97136
 Email: limitouttackle@hotmail.com

Property Owner

Name: _____ Phone: _____
 Address: _____
 City: _____ State: _____ Zip: _____
 Email: _____

OFFICE USE ONLY	
Date Stamp	RECEIVED
	MAY 14 2024
	BY: <u>Dropped off JS</u>
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Received by: _____	
Receipt #: _____	
Fees: _____	
Permit No: _____	
851- <u>21-00083</u> PLNG	

Request: REMOVE DECK AND BUILD ALL SEASON ROOM IN THE SPACE.

Type II

- Farm/Forest Review
- Conditional Use Review
- Variance
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Type III

- Detailed Hazard Report
- Conditional Use (As deemed by Director)
- Ordinance Amendment
- Map Amendment
- Goal Exception
- Nonconforming Review (As deemed by Director)
- Variance (As deemed by Director)

Type IV

- Ordinance Amendment
- Large-Scale Zoning Map Amendment
- Plan and/or Code Text Amendment

Location:

Site Address: 15040 Hwy 101 N Rockaway Beach OR 97136
 Map Number: 1N 10 1700 1300
Township Range Section Tax Lot(s)

Clerk's Instrument #: _____

Authorization

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Dorothy Burkett
 Property Owner Signature (Required)
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 Applicant Signature

4/22/2024
 Date
4/22/2024
 Date

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- (b) The request shall maintain a minimum separation of six feet between structures and comply with the clear vision area of Section 4.010.

The Department may require the applicant to submit a site survey or similar information to assist in making these determinations.

i. A comparison of existing use or structure with the proposed change using the following factors:

1. Noise, vibration, dust, odor, fumes, glare, or smoke detectable at the property line or off-site;

Property is a residence, no noise, vibration, dust, odor, fumes, glare, or smoke out of the ordinary expected.

2. Numbers and kinds of vehicular trips to the site;

Property is a residence; no additional vehicle activity will be generated with the addition.

3. Amount and nature of outside storage, loading and parking;

Property is a residence, there is no outside storage, loading or parking, outside of normal.

4. Visual impact;

Addition will be 15'9" below the 24' max and below the overall height of the existing house.

5. Hours of operation;

Property is a residence, no hours of operation.

6. Effect on existing vegetation;

Original deck was pavers and dirt, no vegetation. Area below the addition will be similar.

7. Effect on water drainage and water quality;

Original deck allowed water to flow to the ground to be absorbed in the area. The addition has a draining system for the roof and will be routed to the ground to be absorbed on the property.

8. Service or other benefit to the use or structure provides to the area; and

Property is a residence and does not offer services or other benefits to the area.

9. Other factors relating to conflicts or incompatibility with the character or needs of the area.

Property is a residence within a row of other houses.

- ii. The request shall maintain a minimum separation of six feet between structures and comply with the clear vision area of Section 4.010

There are no other structures on the property.

Tim Wolden, Structural Consultant
34930 Hwy 53
Nehalem, OR 97131

(541) 915-6389 cell
(503) 368-7962 office
(503) 368-7963 fax
tim@woldense.com

February 21, 2024

Ted Brinkman
bdds@charter.net
Brinkman Drafting Design Services
Warrenton, Oregon

Re: Structural Design Review – Design Framing for the Proposed Sunroom Addition to the Burkett Residence at 15040 North Highway 101 in rural Rockaway Beach, Oregon

Ted:

I have reviewed your drawings and have provided structural calculations for the framing and foundation for the sunroom addition that will be added to the southwest side of the Burkett Family residence at 15040 North Highway 101 in rural Rockaway Beach. I based the design on your preliminary drawings from earlier this month and have reviewed your final drawings to ensure that the information in the attached calculations and drawing mark-ups has been included in the final set of drawings.

The existing home is a small two-story home about 30-feet wide by 24-feet deep from northeast to southwest. The single-story sunroom addition will be 12-feet deep by 16-feet wide and will be added to the south end of the southwest facing wall in place of the existing elevated deck shown below. The roof will be ledgered to the short eyebrow roof and the floor will be ledgered to the exterior wall at the existing lower floor level.



SW Elevation of the Burkett Residence

I used a floor live loading of 40 psf to size the floor joists and a snow loading of 20 psf to size a beam to support the roof where the original rear wall of the front cabin area is being removed. I also sized footings using an allowable bearing pressure of 1500 psf. The southeast and northwest walls of the addition were not checked for a wind loading because it is in the projected area of the existing structure but the exterior wall of the sunroom at the southwest elevation was checked for the required 135 mph wind at Exposure D due to the proximity of this home to the open ocean to the west.

I found that the rafters could be 2x10s at 24 inches on center and the floor joists could be 2x8s or the 9½ inches manufactured I-joists that you had selected. The 6-inch floor beams will support these joists at the center and the outer edge of the sun room. These beams will be supported by posts and footings that raise the added sunroom structure about 4-feet above grade. I assume this is to meet a flood zone requirement. There is also an attached elevated deck to the northwest side of the sunroom addition.

Please refer to the attached calculations and drawings mark-ups for the member sizes, wall nailing, and various connection information. I have also reviewed your final drawings to ensure that you have transferred the information to the submittal drawings.

I have enjoyed working with you on this project. If you have any additional questions or comments; please feel free to call.

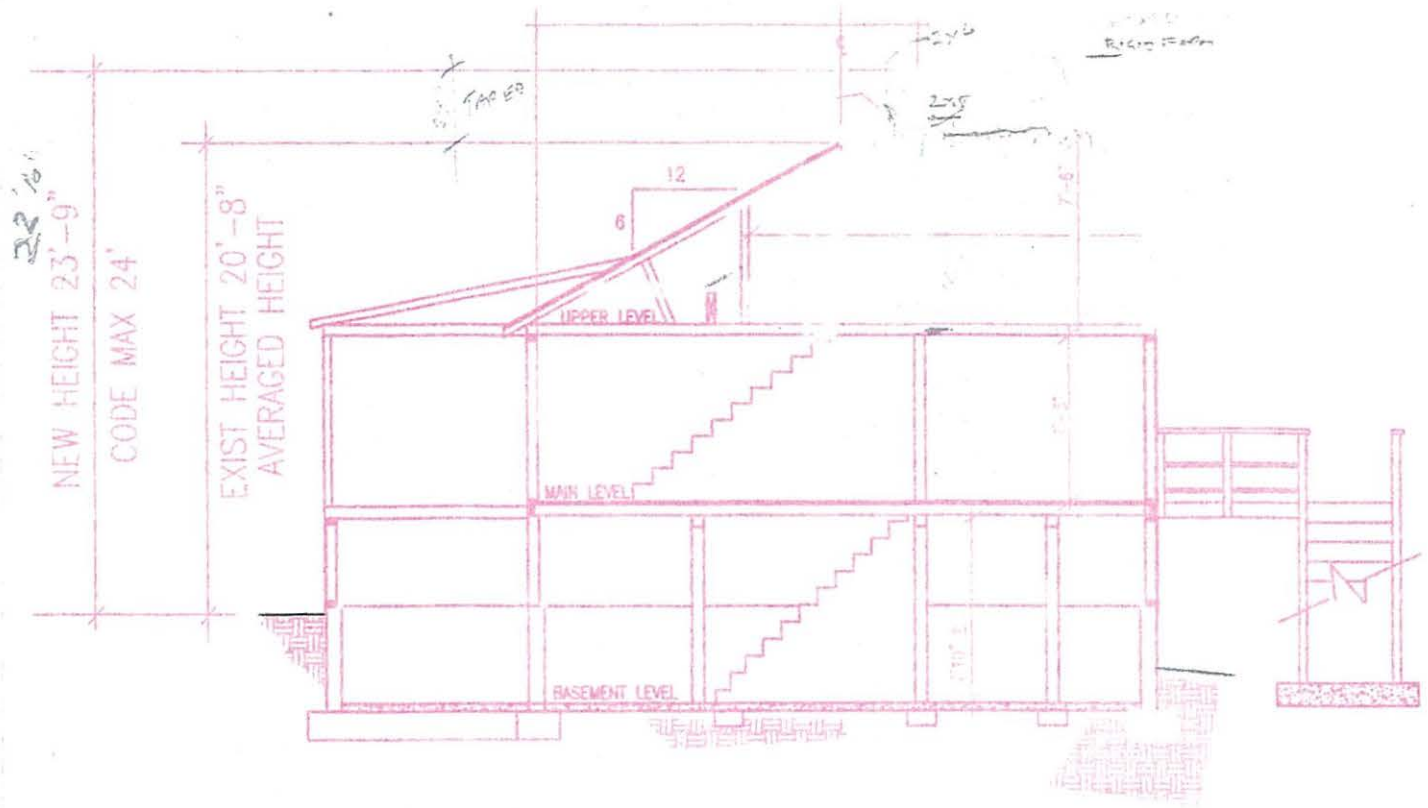
Sincerely,



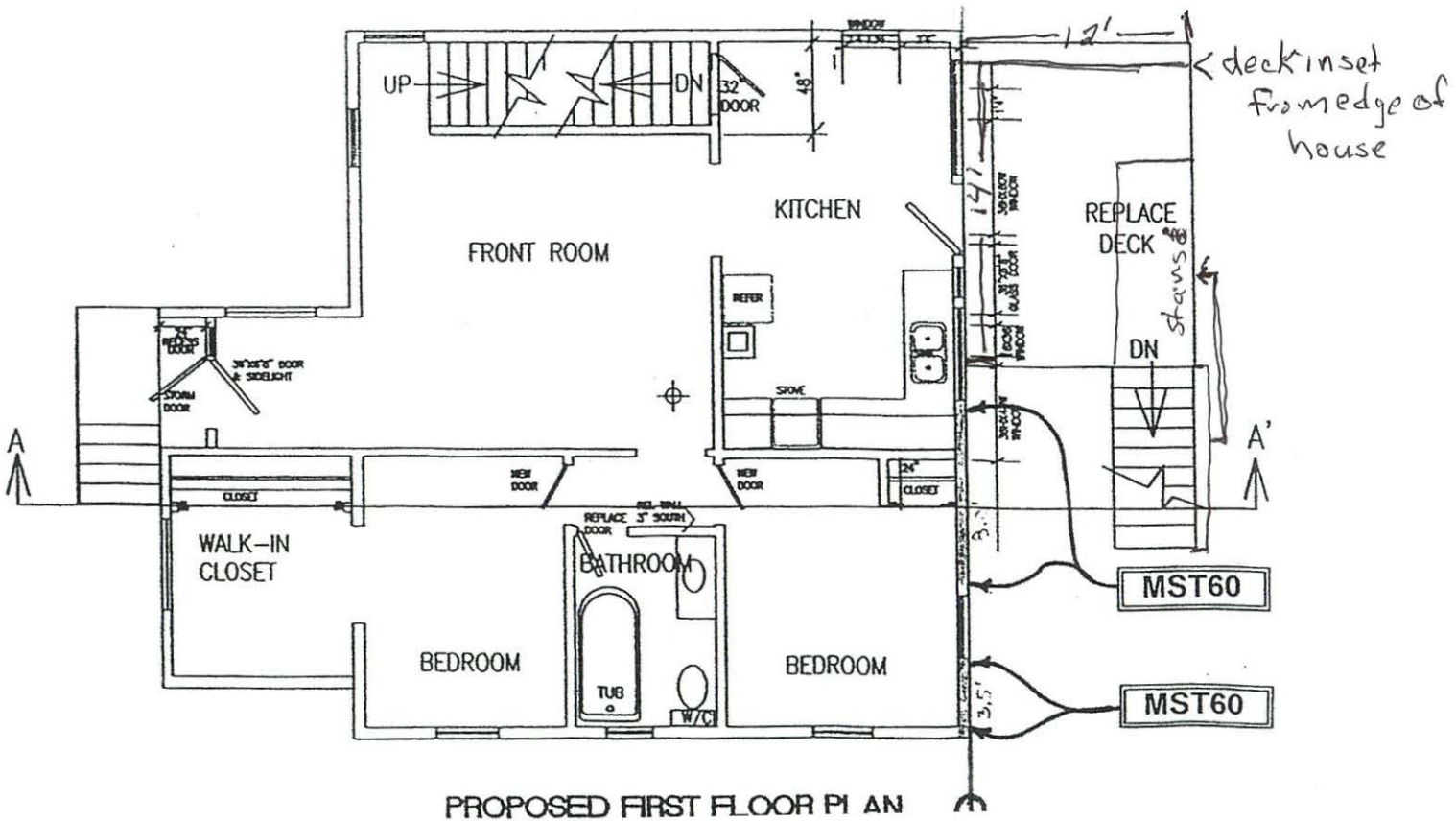
Timothy Wolden

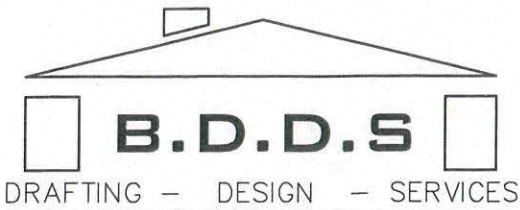
Original deck

MATERIALS & COLORS
IN NEW CONSTRUCTION



SCALE 1/8" = 1'





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NOTE:

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NOTE:

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DO NOT SCALE DRAWINGS! VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION

NOTE:

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SHEET INDEX:

- C1. COVER PAGE
- C2.1 SITE PLAN
- C3.1 NOTES, KEY NOTES
- A1.1 MAIN FLOOR PLANS & FRAMING PLANS
- A2.1 ELEVATIONS & SECTIONS
- S1.1 FOUNDATION - DETAILS
- S2.1 ENGINEERS NOTES & CALCULATIONS

***NOTE (DISCLAIMER)**

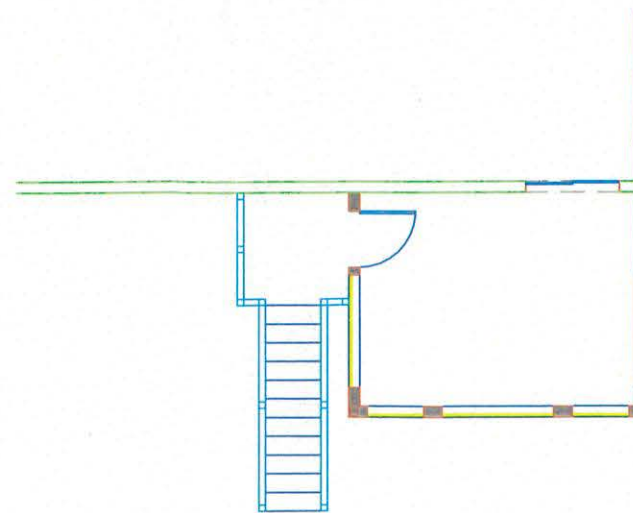
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ADDITION / REMODEL PLANS FOR: DORTHY BURKETT 15040 N.HWY 101 ROCKAWAY BEACH OREGON



FRONT ELEVATION



MAIN FLOOR PLAN

N.T.S. ADDTION 192 Sq.Ft.

FINAL PLANS

B.D.D.S.

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Date: 2-20-2024

By: B.D.D.S., TEHB.

Description: COVER PAGE

Revision:

ADDITION / REMODEL PLANS FOR:
DORTHY BURKETT
15040 ROCKAWAY BEACH OREGON
COVER PAGE

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 BDD@CHARTER.NET
B.D.D.S.
BRINKMAN DRAFTING,
DESIGN SERVICES

C1.1

FINAL PLANS

B.D.D.S

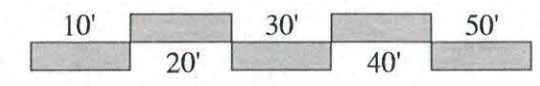
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BRINKMAN DRAFTING
DESIGN SERVICES.

Date: 2-20-2024
By: B.D.D.S., TEHB.

Description: SITE PLAN
Revision: _____



SITE PLAN
SCALE: 1"=10'



GRAPHIC SCALE

ADDITION / REMODEL PLANS FOR:
DOROTHY BURKETT
15040 ROCKAWAY BEACH OREGON

SITE PLAN & BUILDING LOCATION

802.961.0449
WARRENTON, OR 97146
BDD@CHARTER.NET

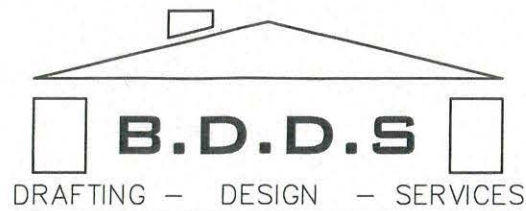
B.D.D.S

**BRINKMAN DRAFTING,
DESIGN SERVICES**

WASHINGTON
OREGON
THE GREATER N.W.

C2.1

GENERAL NOTES AND REFERENCES



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Date: 2-14-2024
By: B.D.D.S., TEHB.

Description: CODES, NOTES
Revision:

GENERAL FRAMING NOTES

- LIVE LOADS
ROOF25 PSF
FLOORS40 PSF
WIND SPEED, 3MPH GUSTS 135 MPH, EXPOSURE C
SEISMIC TYPE/AREA - D2
- GLU-LAMINATED TIMBER
AISC SPECIFICATION 24F-V4 FOR SIMPLE SPANS, AND 24F-V8 FOR CANTILEVER-SPANS. PROVIDE AISC STAMP ON TIMBER. ALL GLU-LAM BEAMS SHALL FIT SNUG AND TIGHT IN THEIR CONNECTIONS AND DEVELOP FULL BEARING AS INDICATED. GLU-LAM ADHESIVE TO BE "WET USE" TYPE IBC STANDARDS.
- TIMBER
JOISTS - HF#2
BEAMS, STUDS, HEADERS DF#2
POSTS DF#1
STUDS - HF STUD GRADE
WALL PLATES AND LUMBER NOT NOTED TO BE HF#2. ALL GRADES SHALL CONFORM TO "NFA GRADING RULES FOR WESTERN LUMBER" - 1991 EDITION. BOLT HEADS AND NUTS BEARING AGAINST WOOD SHALL BE PROVIDED WITH STANDARD CUT 3"x3" GALV. WASHERS. ALL NAILS ARE "COMMON". MINIMUM NAILING TRUSS DESIGN PER MANUF.
TRUSS PLAN IS FOR GENERAL LAYOUT ONLY. TRUSS SPAN PER FLOOR PLANS
TRUSS TYPE PER ROOF FRAMING PLAN
- ROOF FRAMING SPACING 24" o.c. U.N.O.
- ROOF PITCH- EXTERIOR PER ELEVATION
- RAFTER TAIL 2x4 OR BETTER, VERIFY.
- ROOF TAIL AND RAKE OVERHANG PER ROOF PLAN. TRUSS ENGINEERING TO BE DONE BY TRUSS MANUFACTURING CO. TRUSS PLAN IS FOR GENERAL LAY OUT PURPOSES ONLY.
- ALL HEADERS ARE 4x10 OR 6x10 DF #2 U.N.O. PROVIDE (1) TRIMMER STUD UP TO 4'-0" SPAN AND (2) TRIMMER STUDS OVER 4'-0" U.N.O.
- SPECIAL CONDITIONS
CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD AND SHALL PROVIDE ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS DURING CONSTRUCTION.
- INSPECTIONS
IF NOT NOTED, UPDATE PER CURRENT OREGON CODES AND ALL CURRENT ADOPTED CODES PER THE OSSC & CURRENT AMENDMENTS

FLOOR PLAN KEYNOTES

- P-1 OCCUPANCY SEPARATION, APPLY (1) LAYER OF 1/2" G.W.B TO GARAGE CEILING UNDER ATTIC SPACES AND TO ALL BEAMS AND POSTS SUPPORTING A FLOOR-CEILING ASSEMBLY. APPLY (1) LAYER OF 5/8" TYPE "X" G.W.B TO GARAGE CEILING WHEN UNDER HABITABLE ROOMS.
- P-2 1 3/8" MIN SOLID WOOD CORE, HONEYCOMB CORE STEEL OR 20-MINUT FIRE RATED DOOR.
- P-3 STAIR ASSEMBLY NOTES,
A. HEADROOM MIN 6'-8", WIDTH MIN 3'-0"
B. TREADS 10" MIN DEPTH AND MIN WIDTH OF 36" ABOVE HANDRAIL HEIGHT, RISERS 8" MAX HT.
C. HANDRAIL MIN 30" TO MAX 38" ABOVE TREAD NOSING. HANDRAIL TYPE 1 CIRCULAR TO HAVE 1 1/4" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN CLEAR FROM WALL, RETURN RAIL ENDS.
D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN.
E. COVER USABLE SPACE UNDER STAIR W/ 1/2" OR 5/8" TYP-X G.W.B. INTERMEDIATE BALUSTERS SHALL BE SPACED W/ LESS THAN 4" BETWEEN BALUSTERS.
F. LANDINGS MUST BE AT LEAST 36"
- P-4 EGRESS WINDOW PER CURRENT STATE CODES
- P-5 IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN ABOVE TOP OF SLAB.
- P-6 COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NONABSORBENT MATERIAL TO 70" ABOVE DRAIN INLETS.
IF SHEET ROCK IS INSTALLED, USE ONLY WATER RESISTANT GREENBOARD SHEETROCK.
INSTALL 15PND ROOFING FELT OVER WALLS, INSTALL 1/2" THK. CEMENTITIOUS CERAMIC TILE BACKERBOARD BEFORE TILING.
- P-7 8" MAX. RISER WITH 10" MIN RUN, IF MORE THAN (3) RISERS, HANDRAIL REQUIRED PER I.B.C.
- P-8 18"x24" CRAWL SPACE ACCESS, INSULATE AND WEATHER STRIP.
- P-9 24"x30" ATTIC SPACE ACCESS W/30" HEAD CLEARANCE INSULATE AND WEATHER STRIP.
- P-10 36" GUARDRAIL PER CURRENT BUILDING CODES AT STAIRS SLOPES AT 34" ABOVE STAIR NOSINGS.
- P-11 8" VENT FOR MECHANICAL. 1" CLEARANCE ALL SIDES PER ORSC. SECTION REQUIREMENTS

FRAMING KEYNOTES

- F-1 PROVIDE FLASHING, PAN FLASHING @ WINDOWS AS REQUIRED
- F-2 BRACED WALL PANELS (BP) W/ 1/2" CDX AND DF #2 16" O.C. @ A MINIMUM OF 48" INTERIOR OF BRACED PANEL W/ 1/2" GYP.
- F-3 ALTERNATE BRACED WALL PANELS (ABP) WITH A MINIMUM OF 32"
- F-4 WALL FRAMING-SEE CURRENT STATE BUILDING CODES WALL COVERINGS SEE CURRENT AMENDMENT. WALLS SHALL BE COVERED IN A ASTM RATED E2273 WATER WICKING MEMBRANE WITH A WATER RESISTANT SIDING MATERIAL OVER
- F-5 BATHROOMS MUST HAVE A DEHUMIDIFIER FAN EXHAUST FAN W/DEHUMIDISTAT TIMER W/ AN 80CFM RATING AND A SOUND RATING OF 1.0 SONE BATHROOMS W/O BATHING AREAS - 50CFM RATING
- F-6 ROOF NAILING
WHERE WIND SPEED IS GREATER THAN 100MPH ROOF SHEATHING SHALL BE ATTACHED TO INTERMEDIATE SUPPORTS AT 6" O.C. AND 4" O.C. TO GABLE END WALL FRAMING
- F-7 ROOF VENTILATION.
SHALL COMPLY WITH CURRENT IBC ROOF CEILING CONSTRUCTION
ROOF VENTILATION REQ. 150SQFT OF NET FREE VENTING PER 150SQFT OF ATTIC SPACE.
- F-8 PROVIDE FLASHING @ WINDOWS AS REQUIRED

FOUNDATION KEYNOTES

- FP-1 CONCRETE STEM WALL 8" WIDE WITH MIN. 15"x7" FOOTING MIN. SEE DETAILS FOR ADDITIONAL INFORMATION.
- FP-2 CONCRETE SLAB ON GRADE SHALL BE A MIN. OF 3-1/2" THICK STEEL TROWELED FINISH, W/6x6 W1.4xW1.4 WWF ON 4" GRAINULAR FILL. SLOPE 2" TO DOOR PROVIDE THICKENED EDGE AT DOOR.
- FP-3 6x6 POST ON CB66. 1" ABOVE SLAB ON 36"x36"x8" MAT FOOTING ON SOLID SUBSTRATE W/(4) #4 BAR EACH WAY
- FP-4 CRAWL SPACE VENT. NUMBER OF VENTS PER AREA OF SQ. FOOTAGE
- FP-5 6 MIL BLACK POLYETHYLENE GROUND COVER ON GRADE.
- FP-6 ANCHOR BOLTS @ 4' O.C. W/ 3" SQUARE HOT DIPPED GALVANIZED WASHERS
- FP-7 BLOCK OUT IN STEM WALL FOR DOORS, HVAC, ETC, AS REQUIRED
- FP-8 18"x24" CRAWL SPACE ACCESS, INSULATE AND WEATHER STRIP.
- FP-9 PROVIDE SOLID BLOCKING THRU JOIST SYSTEM TO PROVIDE SAME AREA OF BEAM SUPPORT AS ABOVE AND BELOW.
- FP-10 MIN 1" CLEARANCE FROM CONCRETE AT END OF BEAMS.
- FP-11 CONT. BRACING METHOD CURRENT IBC
- FP-12 FOUNDATION STRENGTH.
MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 3,000psi

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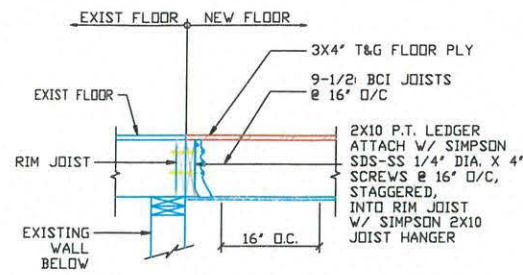
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- All construction to comply with State CURRENT BUILDING codes Structural specialty code, (IBC), International Building Code, State of Oregon one and two family dwelling code, 2011-2019 edition (CURRENT) and local codes. all construction and work performed shall comply with all pertinent State and Local code requirements, laws, and ordinances.
- Contractor shall coordinate all drawings, verify all dimensions and connections before construction.
- The contractor shall notify the engineer of any field conditions different from those indicated on the drawings when necessary.
- Typical details and standard framing provisions of the current ORSC or UBC shall apply where no specific details or sections are noted on the plans.
- All vertical joints of shear wall plywood sheathing shall occur over studs. Horizontal joints shall be solid blocked.
- Shear wall sheathing shall extend from top plate under roof rafters to sole and /or mudsill. Plywood shall run continuous the full length of the wall indicated on plans and shall not be interrupted by any portion of intersecting walls.
- Wall sheathing shall be "edge nailed" to all wall members with hold-downs attached to them.
- Wall sheathing shall be "edge nailed" along all top, bottom plates, and mudsill at foundation.
- All holdowns, straps, etc. to be "Simpson Strong-Tie" and shall be installed in accordance with manufacture's current connection manual.
- All anchor bolts must have 3" galv. square washers and shall be located within 12", but not less than 9" from the ends of the sill plates.
- Roof sheathing shall be 1/2" CDX minimum APA rated 24/0, with face grain perpendicular to framing members below. Stagger adjacent panels by 4'-0" and nailed with 8d common nails @ 6" on center at edges and 12" on center at all intermediate supports.
- Floor plywood shall be 3/4" CDX minimum APA 32/16 tongue and groove, face grain perpendicular to framing members below, stagger adjacent panels by 4'-0" and nailed with 10d common nails at 6" on center at all plywood panel edges and at 10" on center at all intermediate supports.
- Shear wall plywood shall be 1/2" CDX APA 24/0, unless noted otherwise. All panel edges shall be blocked and nailed. All plywood intermediate supports shall be nailed with 8d common or galvanized box nails at 12" on center. See shear wall schedule for required edge nailing.
- All nailing to be per table of the current ORSC code edition,
- Lateral and Seismic design criteria: State of Oregon, CURRENT building codes edition, structural specialty code. (Non lateral & seismic design criteria based upon current ORSC, OSSC code.)
- It is the responsibility of the contractor(s) to follow all Current building codes and code amendments. It is not the responsibility of BDDDS to post every code or inform the contractor how to build any structure.

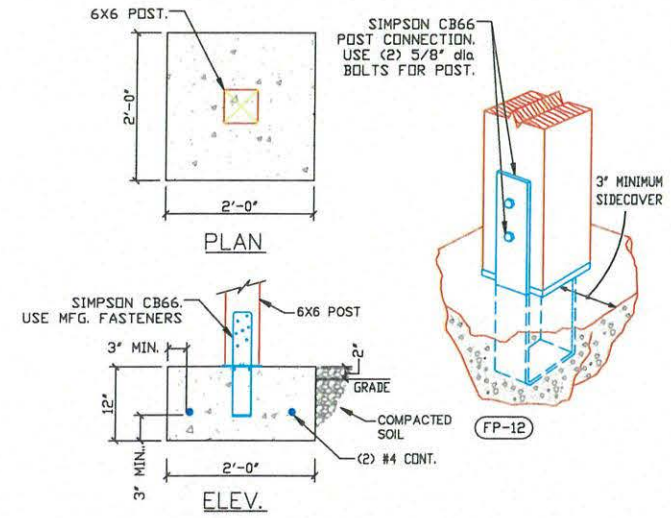
ADDITION / REMODEL PLANS FOR:
DOROTHY BURKETT
15040 ROCKAWAY BEACH OREGON
KEY NOTES & REFERENCES

B.D.D.S
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BRANKMAN DRAFTING DESIGN SERVICES

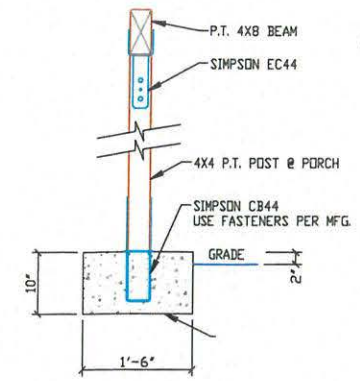
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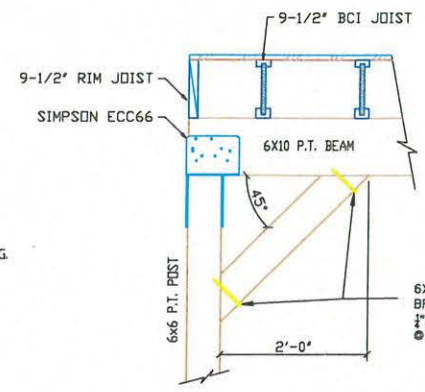
1 FLOOR TO FLOOR
SCALE: 3/4" = 1'-0"



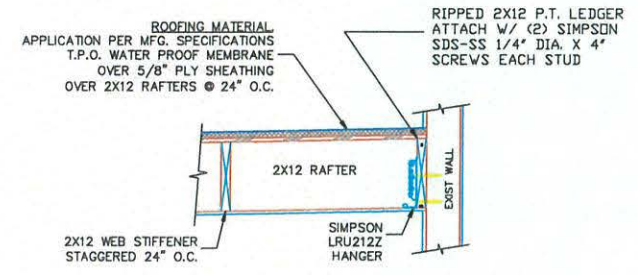
2 POST FOOTING
SCALE: 3/4" = 1'-0"



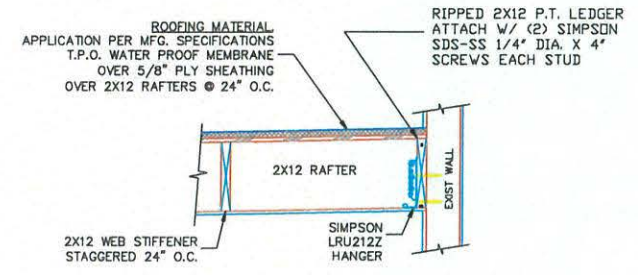
3 DECK POST & BEAM
SCALE: 3/4" = 1'-0"



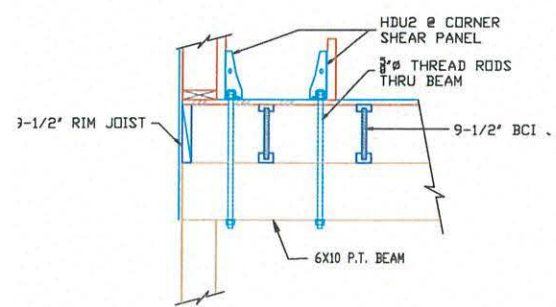
4 POST CAP CONNECTION & BRACE DETAILS
SCALE: 3/4" = 1'-0"



5 DECK TO WALL
SCALE: 3/4" = 1'-0"



6 FRAMING DETAIL
SCALE: 3/4" = 1'-0"



7 HOLD DOWN @ CORNER SHEAR PANEL
SCALE: 3/4" = 1'-0"

Joist Depth	BCI Joist Series	***THREE STAR***					****FOUR STAR****					CAUTION * MINIMUM STIFFNESS ALLOWED BY CODE *					CAUTION
		12" O.C.	16" O.C.	19.2" O.C.	24" O.C.	32" O.C.	12" O.C.	16" O.C.	19.2" O.C.	24" O.C.	32" O.C.	12" O.C.	16" O.C.	19.2" O.C.	24" O.C.	32" O.C.	
9 1/2"	5000 1.7	17'-1"	15'-7"	14'-9"	13'-9"	12'-0"	11'-6"	11'-6"	10'-0"	10'-0"	9'-6"	18'-11"	17'-0"	15'-6"	13'-11"	12'-0"	
	6000 1.8	17'-11"	16'-5"	15'-6"	14'-5"	13'-2"	11'-6"	11'-6"	10'-0"	10'-0"	9'-10"	19'-10"	18'-2"	17'-2"	15'-9"	13'-8"	
	6500 1.8	18'-5"	16'-10"	15'-11"	14'-10"	13'-6"	11'-6"	11'-6"	10'-0"	10'-0"	9'-10"	20'-5"	18'-8"	17'-8"	16'-5"	14'-3"	
11 1/4"	5000 1.7	20'-2"	18'-5"	17'-5"	15'-9"	13'-4"	15'-6"	14'-4"	13'-6"	12'-7"	11'-5"	22'-3"	19'-4"	17'-7"	15'-9"	13'-4"	
	6000 1.8	21'-3"	19'-5"	18'-4"	17'-1"	14'-10"	15'-6"	15'-1"	14'-3"	13'-3"	12'-0"	23'-6"	21'-6"	20'-0"	17'-11"	14'-10"	
	6500 1.8	21'-11"	20'-0"	18'-11"	17'-7"	14'-10"	16'-0"	15'-7"	14'-9"	13'-8"	12'-5"	24'-3"	22'-2"	20'-11"	18'-10"	14'-10"	
	60 2.0	23'-3"	21'-3"	20'-1"	18'-8"	16'-4"	18'-0"	16'-7"	15'-7"	14'-6"	13'-2"	25'-9"	23'-6"	22'-3"	20'-9"	16'-4"	
90 2.0	26'-3"	23'-11"	22'-6"	20'-11"	19'-1"	19'-0"	18'-7"	17'-6"	16'-2"	14'-8"	29'-0"	26'-6"	25'-0"	23'-3"	19'-4"		
14"	5000 1.7	22'-11"	21'-0"	19'-2"	17'-2"	13'-11"	18'-0"	16'-5"	15'-6"	14'-5"	13'-1"	24'-4"	21'-0"	19'-2"	17'-2"	13'-11"	
	6000 1.8	24'-2"	22'-2"	20'-11"	19'-6"	15'-5"	18'-11"	17'-3"	16'-3"	15'-2"	13'-9"	26'-9"	23'-11"	21'-10"	19'-6"	15'-5"	
	6500 1.8	24'-10"	22'-9"	21'-5"	20'-0"	15'-5"	19'-5"	17'-9"	16'-8"	15'-6"	14'-1"	27'-6"	25'-1"	22'-11"	20'-6"	15'-5"	
	60 2.0	26'-5"	24'-2"	22'-9"	21'-3"	16'-4"	20'-8"	18'-10"	17'-9"	16'-5"	14'-11"	29'-3"	26'-8"	25'-3"	21'-10"	16'-4"	
90 2.0	29'-9"	27'-1"	25'-6"	23'-8"	19'-6"	23'-3"	21'-1"	19'-9"	18'-4"	16'-7"	32'-10"	30'-0"	28'-3"	26'-0"	19'-6"		
16"	6000 1.8	26'-9"	24'-5"	23'-1"	20'-10"	15'-9"	20'-11"	19'-1"	18'-0"	16'-9"	15'-2"	29'-6"	25'-6"	23'-4"	20'-10"	15'-9"	
	6500 1.8	27'-5"	25'-1"	23'-8"	21'-1"	15'-9"	21'-6"	19'-7"	18'-5"	17'-2"	15'-7"	30'-4"	26'-11"	24'-6"	21'-1"	15'-9"	
	60 2.0	29'-3"	26'-8"	25'-2"	21'-10"	16'-4"	22'-10"	20'-10"	19'-7"	18'-2"	16'-4"	32'-4"	29'-6"	27'-4"	21'-10"	16'-4"	
90 2.0	32'-11"	29'-11"	28'-2"	26'-2"	19'-7"	25'-8"	23'-4"	21'-11"	20'-3"	18'-4"	36'-4"	33'-2"	31'-3"	26'-2"	19'-7"		
18"	90 2.0	35'-11"	32'-8"	30'-9"	28'-7"	23'-10"	28'-1"	25'-5"	23'-11"	22'-2"	20'-0"	39'-8"	36'-2"	34'-1"	31'-9"	23'-10"	
20"	90 2.0	38'-10"	35'-4"	33'-4"	30'-11"	24'-8"	30'-4"	27'-6"	25'-11"	24'-0"	21'-8"	42'-11"	39'-1"	36'-10"	32'-11"	24'-8"	

1 BCI SPAN CHART

DO NOT SCALE DRAWINGS!
VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION

NOTE:
DETAIL DRAWINGS ARE TO BE USED AT THE CONTRACTORS DISCRETION AND PER THE ENGINEERS SPECIFICATIONS.
FOLLOW THE PRESCRIPTIVE PATH IF THE DETAILS SHOWN DO NOT APPLY.

FINAL PLANS

B.D.D.S

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Date: 2-14-2024
By: B.D.D.S., TEHB.
Description: FLOOR PLANS
Revision:

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ADDITION / REMODEL PLANS FOR:
DORTHY BURKETT
15040 ROCKAWAY BEACH OREGON
FOUNDATION & FRAMING DETAILS

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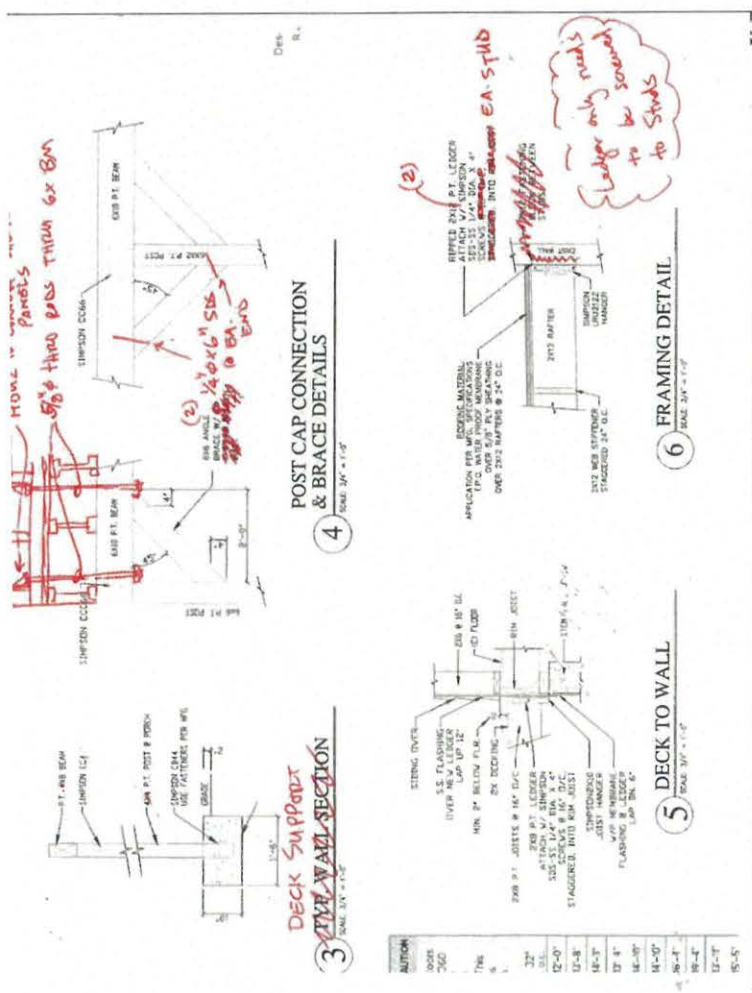
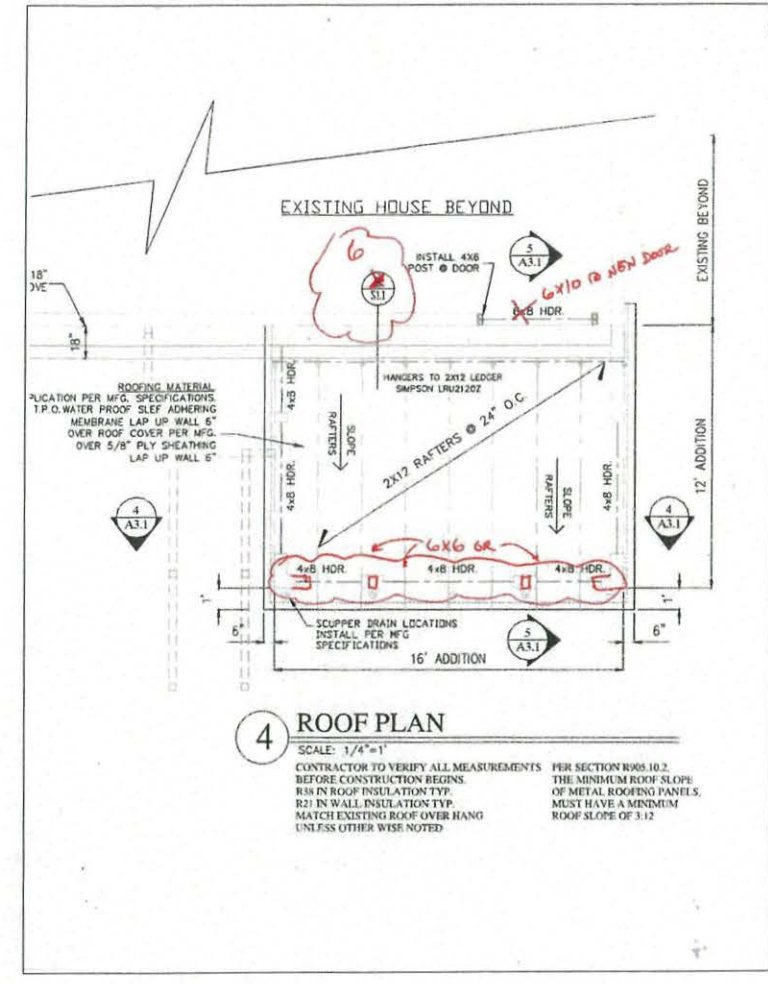
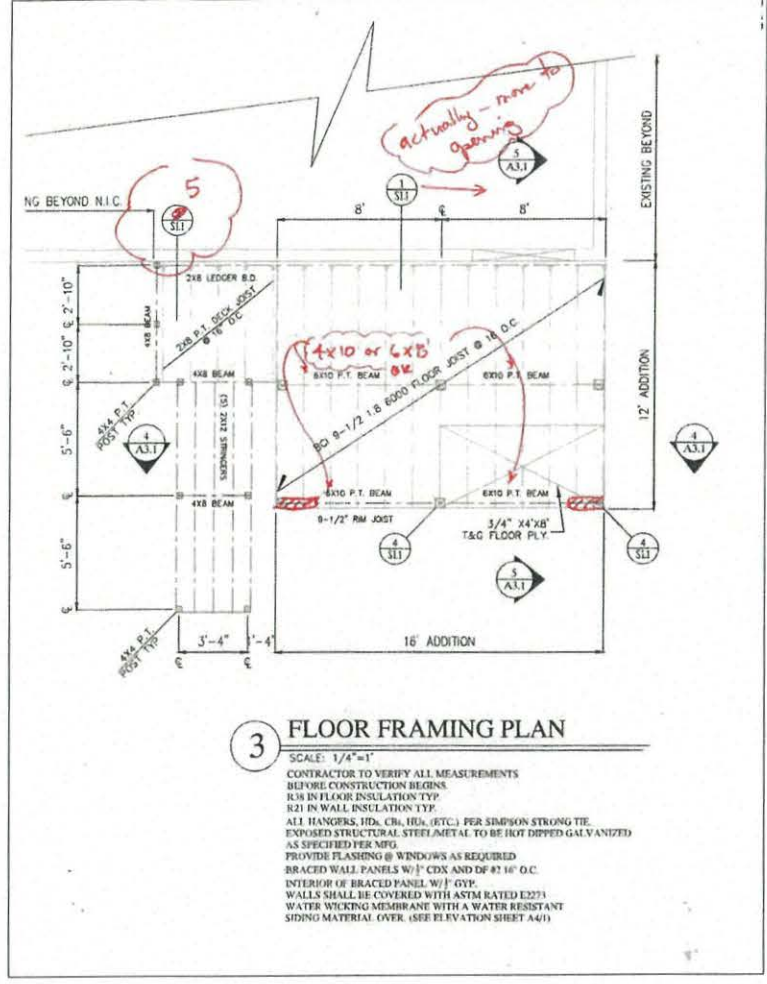
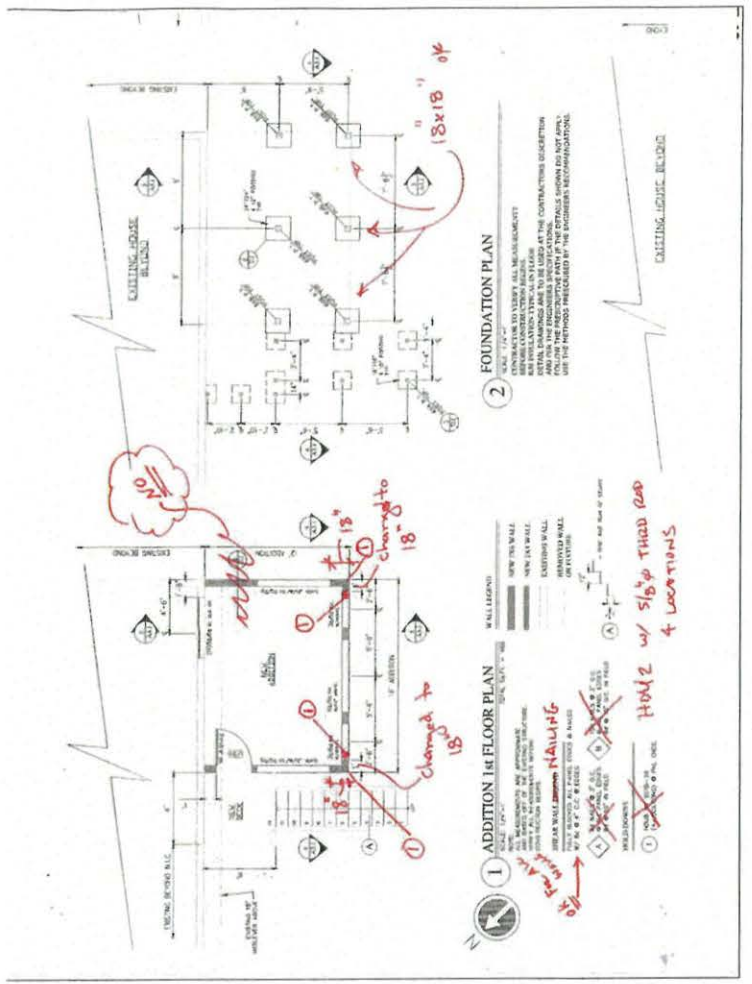
508 551 0849
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S1.1

ADDITION / REMODEL PLANS FOR:
 DOROTHY BURKETT
 15040 ROCKAWAY BEACH OREGON
 ENGINEERS NOTES & CALCULATIONS

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S2.1



Project: Addition to Burkett
 Date: 2/20/24

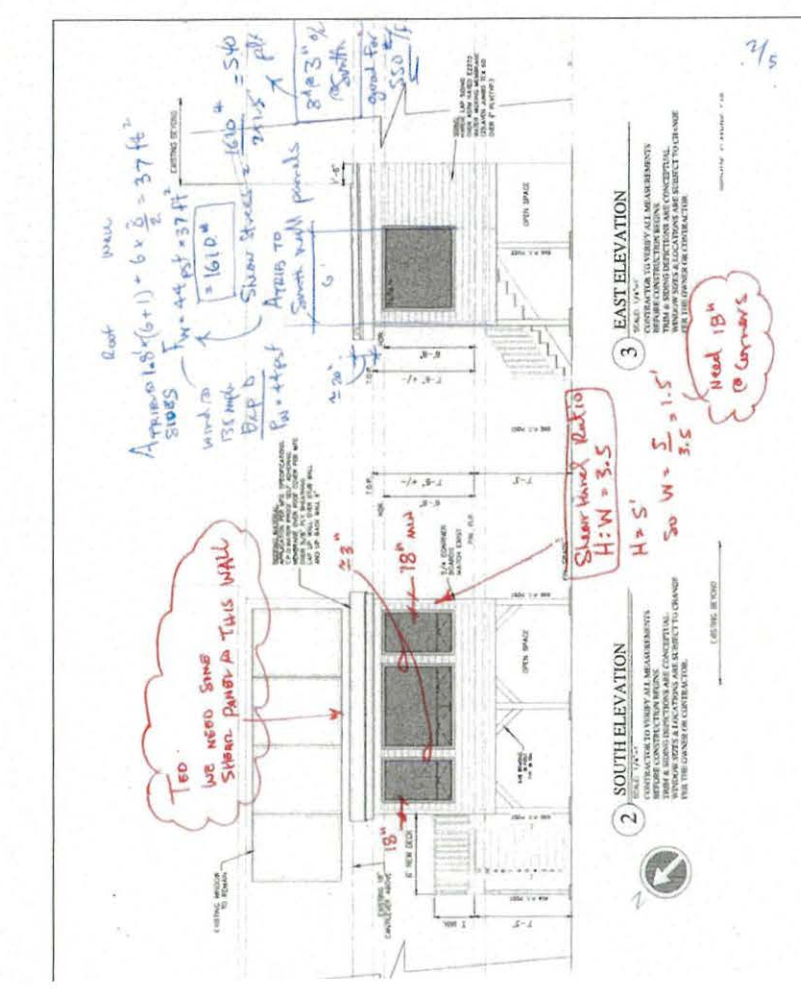
Check Rafters - $L=12\text{ ft}$ $w=(20+15)\text{ psf} \times 2' = 70\text{ plf}$
 $M = \frac{0.7(12)^2}{8} = 15\text{ k-in}$ $S_{reqd} = \frac{15}{0.85(\text{ins})} = 15.5$
 Use 2x10 @ 24" O.C. MIN $S_x = 21.1\text{ in}^3$

Check Hdr - max @ 6' window
 $w = \left(\frac{12}{2} + 1\right)(20+15)\text{ psf} = 245\text{ plf}$
 $M = \frac{245(6)^2}{8} = 13\text{ k-in}$ Small

Try 6x8 or 4x8 (check steel)
 $F_v = 245 = \frac{6}{2} \times 1.5 / 5.5 \times 5.5 = 36\text{ psi} < 95\text{ psi}$

Check floor Beams $L=8'$ $w = (40+15)\text{ psf} = 330\text{ plf}$
 w_{max} @ center
 w_{max} @ edge = $\left(\frac{12}{2} - 1\right) 35 + \frac{6}{2}(55) + 2 \times 12 = 505\text{ plf}$
 $M = \frac{505(8)^2}{8} = 49.6\text{ k-in}$
 $S_{reqd} = \frac{49.6}{0.8} = 51\text{ in}^3$ Use 6x10 $S_x = 78\text{ in}^3$
 (could be 6x8 w/ closer span actually 7 1/2 ft)

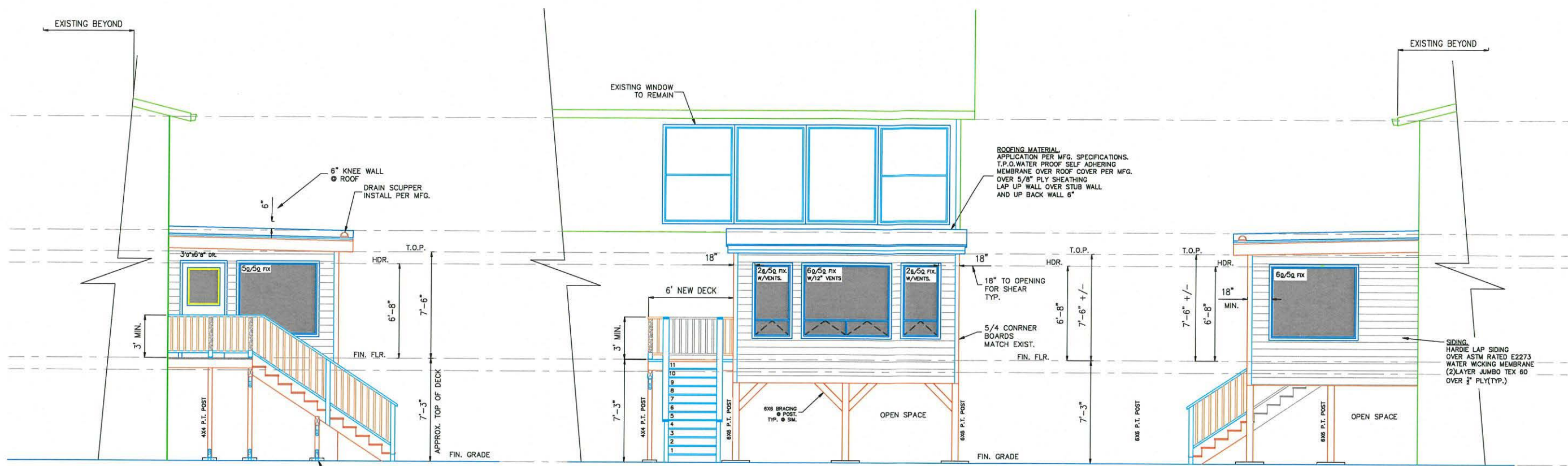
Pinx @ Center Post = $8' \times 505\text{ plf} = 4000\#$
 $f_{ty} @ 1500\text{ psf}$ allowable = $\sqrt{\frac{4000}{1500}} = 1.64$ or $20' \times 20'$ min
 f_{ty} @ ends @ floor could be 18'x18'



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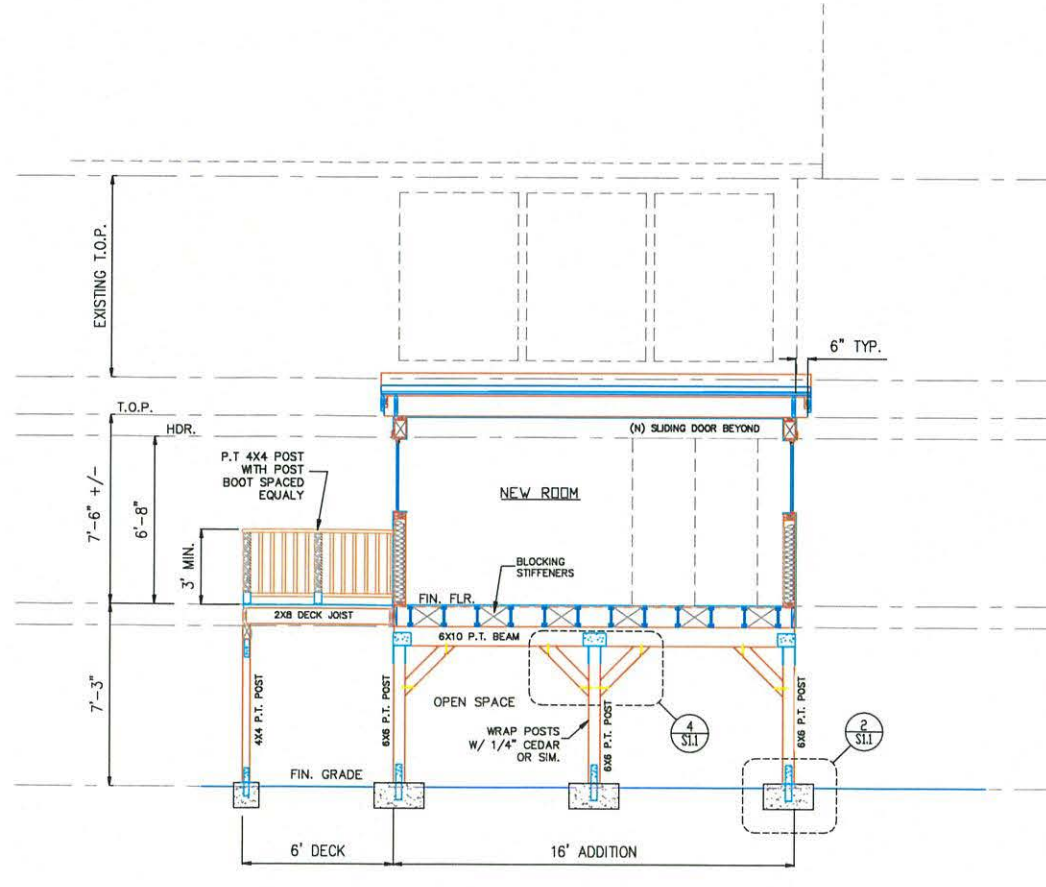
Date: 2-14-2024
 By: B.D.D.S. TEHB.
 Description: ELEVATIONS
 Revision:



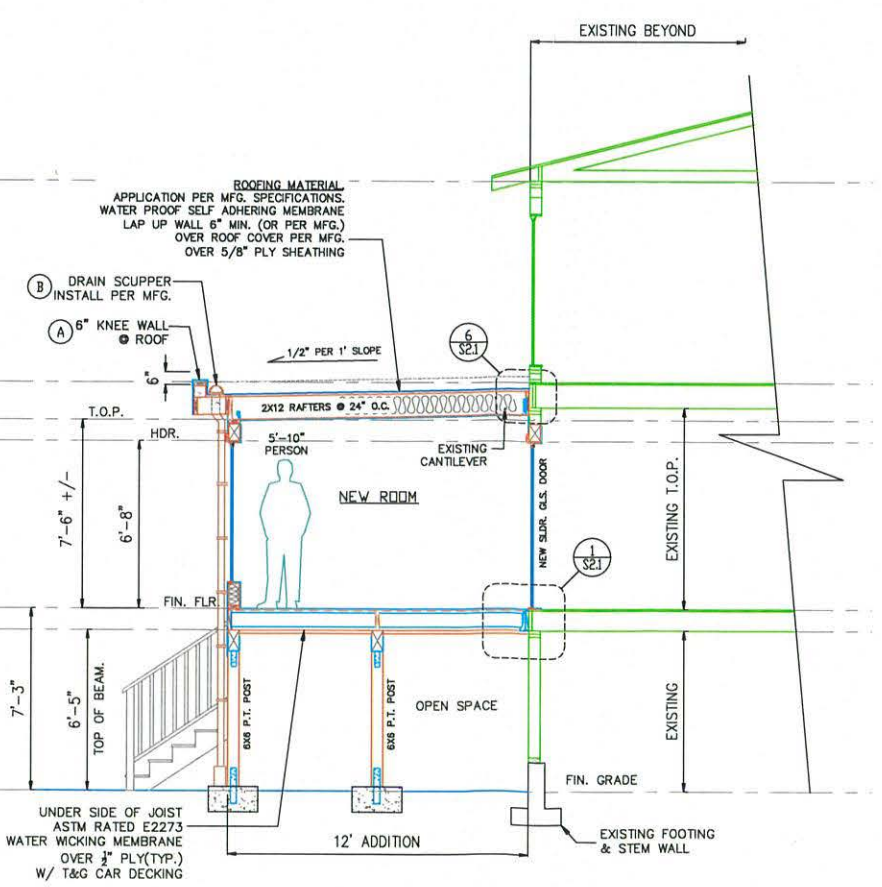
1 WEST ELEVATION
 SCALE: 1/4"=1'
 CONTRACTOR TO VERIFY ALL MEASUREMENTS BEFORE CONSTRUCTION BEGINS. TRIM & SIDING DEPICTIONS ARE CONCEPTUAL. WINDOW SIZES & LOCATIONS ARE SUBJECT TO CHANGE PER THE OWNER OR CONTRACTOR.

2 SOUTH ELEVATION
 SCALE: 1/4"=1'
 CONTRACTOR TO VERIFY ALL MEASUREMENTS BEFORE CONSTRUCTION BEGINS. TRIM & SIDING DEPICTIONS ARE CONCEPTUAL. WINDOW SIZES & LOCATIONS ARE SUBJECT TO CHANGE PER THE OWNER OR CONTRACTOR.

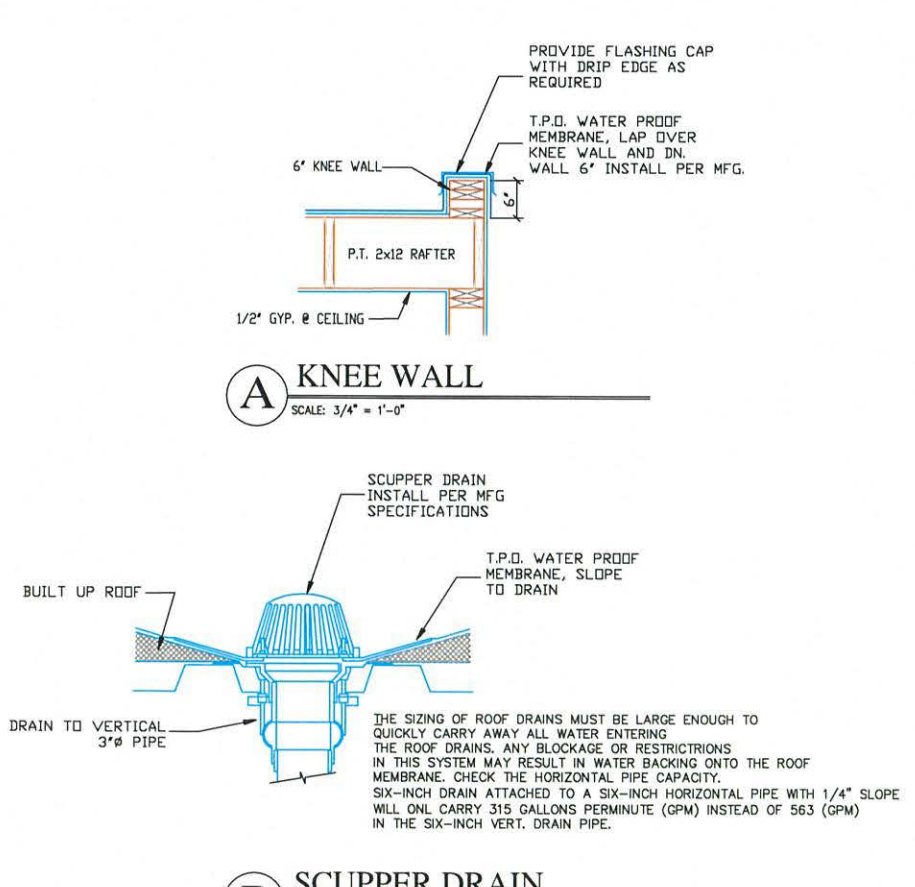
3 EAST ELEVATION
 SCALE: 1/4"=1'
 CONTRACTOR TO VERIFY ALL MEASUREMENTS BEFORE CONSTRUCTION BEGINS. TRIM & SIDING DEPICTIONS ARE CONCEPTUAL. WINDOW SIZES & LOCATIONS ARE SUBJECT TO CHANGE PER THE OWNER OR CONTRACTOR.



4 FRONT SECTION
 SCALE: 1/4"=1'



5 SIDE SECTION
 SCALE: 1/4"=1'



A KNEE WALL
 SCALE: 3/4" = 1'-0"

B SCUPPER DRAIN
 SCALE: N.T.S.

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ADDITION / REMODEL PLANS FOR:
 DOROTHY BURKETT
 15040 ROCKAWAY BEACH OREGON
 ELEVATIONS / SECTIONS

B.D.D.S
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 DESIGN SERVICES

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